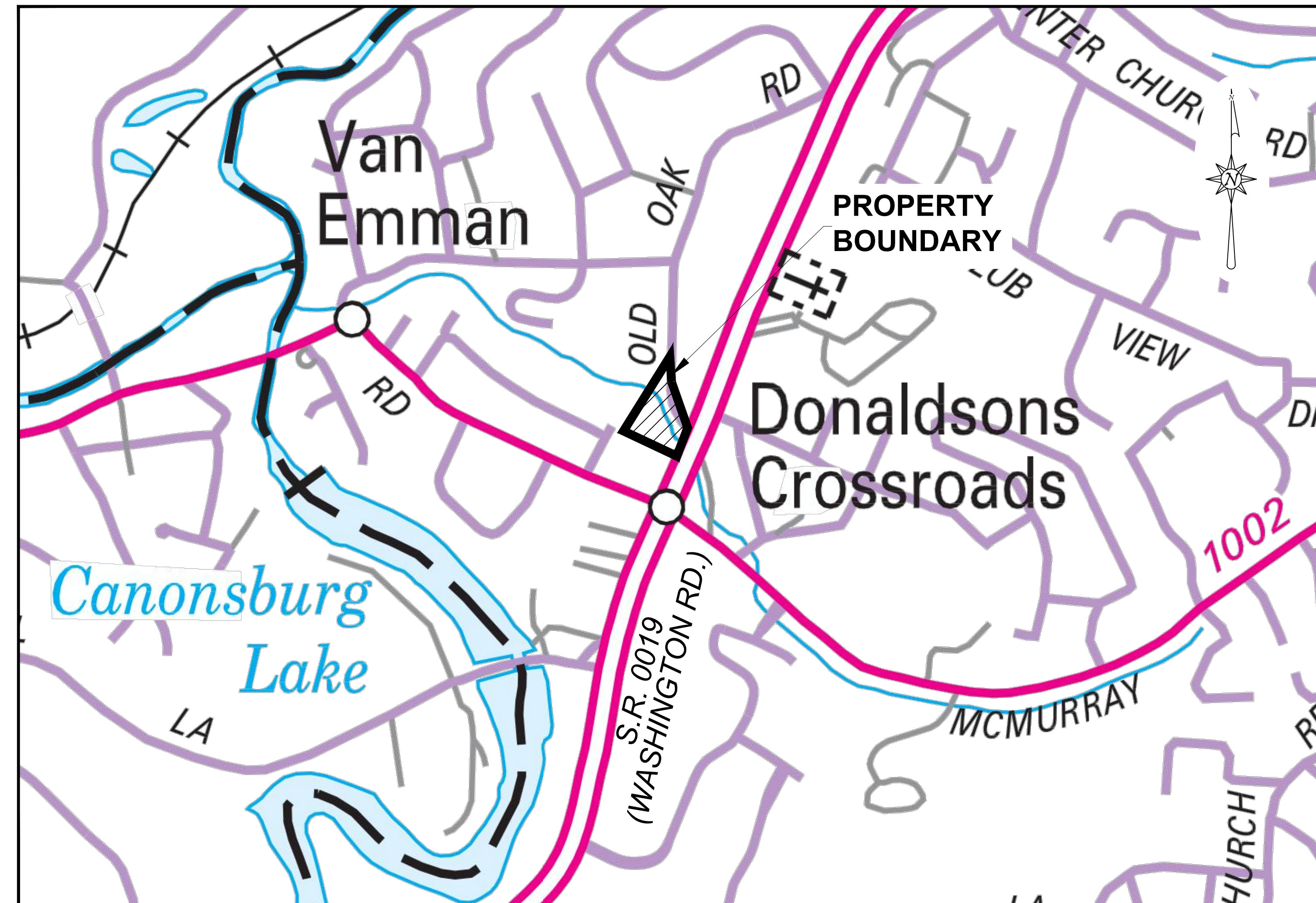


# 3836 WASHINGTON ROAD, LLC.

## LAND DEVELOPMENT PLANS



**LOCATION MAP**

NOT TO SCALE

**SITUATED IN:**  
 PETERS TOWNSHIP  
 WASHINGTON COUNTY, PA

**PREPARED FOR:**  
 3836 Washington Road, LLC.  
 100 Lindley Road  
 Canonsburg, PA 15317

**DATE:** 11/15/24  
**REVISED:** 1/29/26

**Drawing Index:**

Sheet Number	Drawing Number	Sheet Title
1 of 18	23.103-LD01	Land Development Cover Sheet
2 of 18	23.103-LD02	Existing Conditions Plan
3 of 18	23.103-LD03	Site Plan
4 of 18	23.103-LD04	Grading & Stormwater Plan
5 of 18	23.103-LD05	Roadway Profiles
6 of 18	23.103-LD06	Site Cross-Sections & Swale Profile
7 of 18	23.103-LD07	Stormwater Profiles (Sheet 1 of 2)
8 of 18	23.103-LD08	Stormwater Profiles (Sheet 2 of 2)
9 of 18	23.103-LD09	Landscaping Plan
10 of 18	23.103-LD10	Lighting Plan
11 of 18	23.103-LD11	Sanitary Sewer Plan
12 of 18	23.103-LD12	Sanitary Sewer Plan & Profile
13 of 18	23.103-LD13	Sanitary Sewer Details
14 of 18	23.103-LD14	Construction Details (Sheet 1 of 3)
15 of 18	23.103-LD15	Construction Details (Sheet 2 of 3)
16 of 18	23.103-LD16	Construction Details (Sheet 3 of 3)
17 of 18	23.103-LD17	General Construction Notes
18 of 18	23.103-LD18	Vehicle Turning Templates

CALL BEFORE YOU DIG!  
 PENNSYLVANIA LAW REQUIRES

3 WORKING DAYS NOTICE FOR  
 CONSTRUCTION PHASE & 10 WORKING  
 DAYS IN DESIGN STAGE - STOP CALL  
 Pennsylvania One Call System, Inc.

**1-800-242-1776**  
 SERIAL # 20252860987

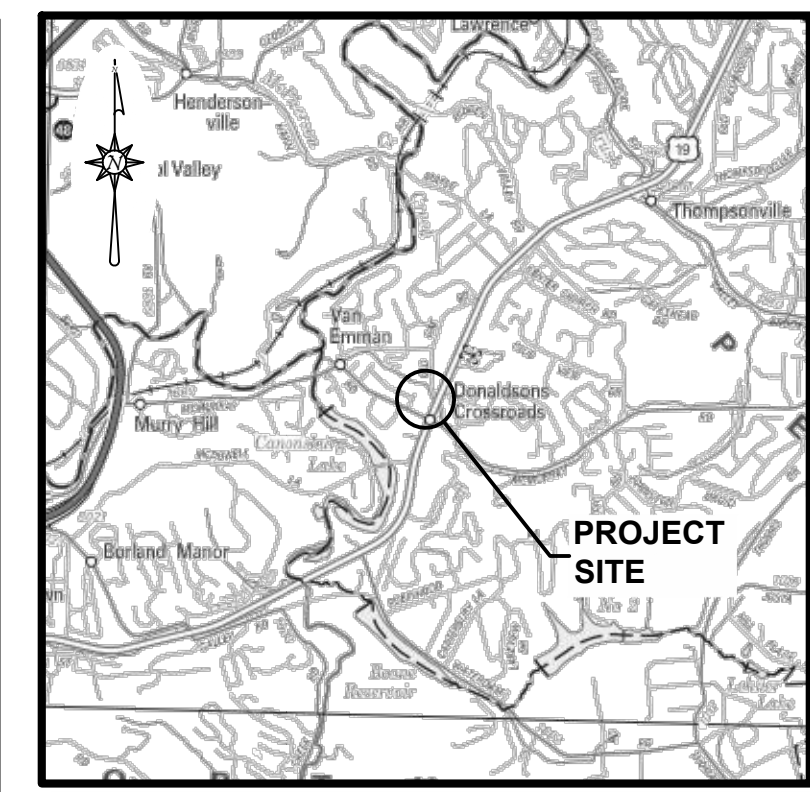


**PROJ. NO. 23.103**

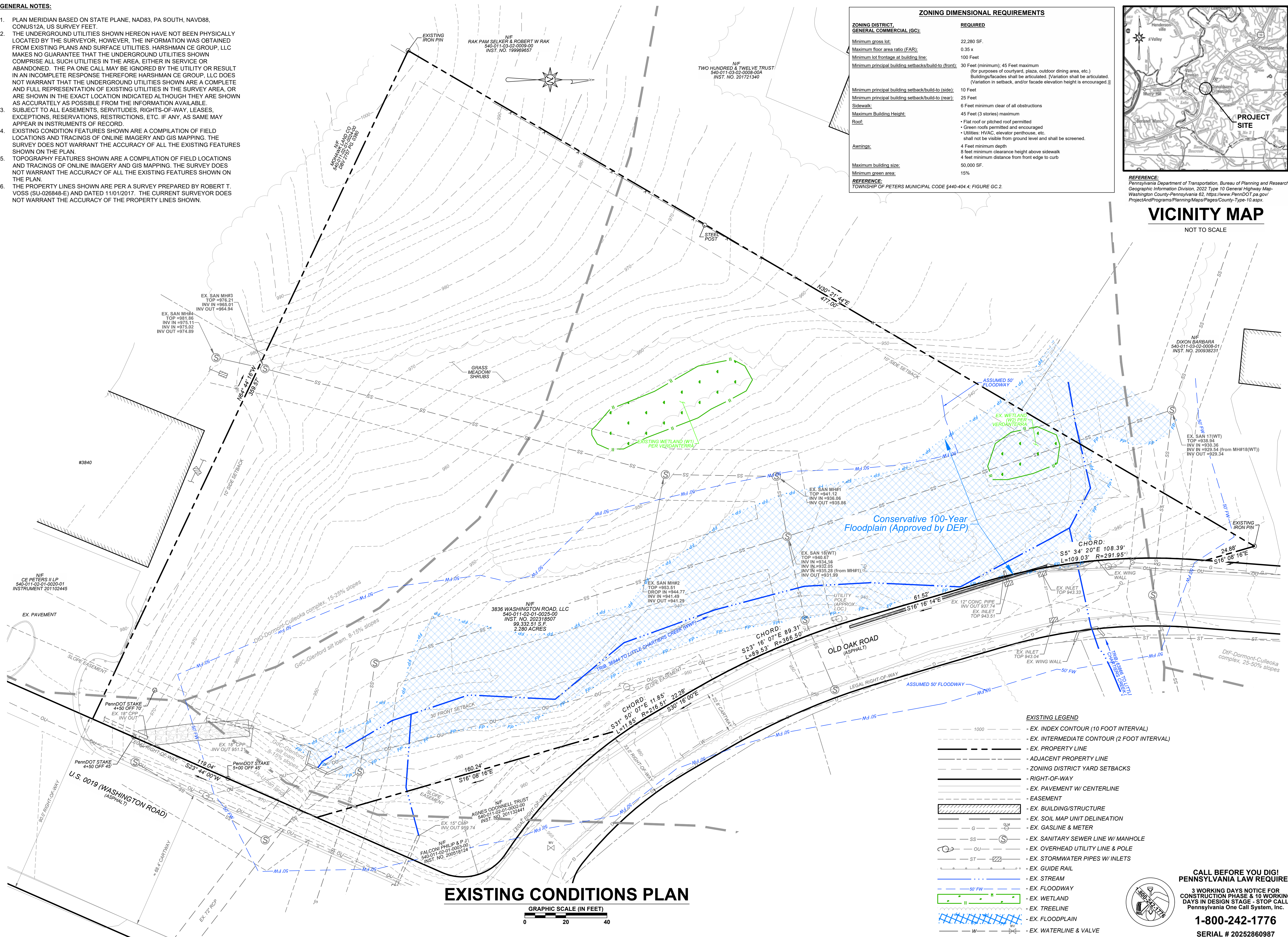
**GENERAL NOTES:**

1. PLAN MERIDIAN BASED ON STATE PLANE, NAD83, PA SOUTH, NAVD88, CONUS12A, US SURVEY FEET.
2. THE UNDERGROUND UTILITIES SHOWN HEREON HAVE NOT BEEN PHYSICALLY LOCATED BY THE SURVEYOR. HOWEVER, THE INFORMATION WAS OBTAINED FROM EXISTING PLANS AND SURFACE UTILITIES. HARSHMAN CE GROUP, LLC MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE PA ONE CALL MAY BE IGNORED BY THE UTILITY OR RESULT IN AN INCOMPLETE RESPONSE THEREFORE HARSHMAN CE GROUP, LLC DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE A COMPLETE AND FULL REPRESENTATION OF EXISTING UTILITIES IN THE SURVEY AREA, OR ARE SHOWN IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE SHOWN AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.
3. SUBJECT TO ALL EASEMENTS, SERVITUDES, RIGHTS-OF-WAY, LEASES, EXCEPTIONS, RESERVATIONS, RESTRICTIONS, ETC. IF ANY, AS SAME MAY APPEAR IN INSTRUMENTS OF RECORD.
4. EXISTING CONDITION FEATURES SHOWN ARE A COMPILATION OF FIELD LOCATIONS AND TRACINGS OF ONLINE IMAGERY AND GIS MAPPING. THE SURVEY DOES NOT WARRANT THE ACCURACY OF ALL THE EXISTING FEATURES SHOWN ON THE PLAN.
5. TOPOGRAPHY FEATURES SHOWN ARE A COMPILATION OF FIELD LOCATIONS AND TRACINGS OF ONLINE IMAGERY AND GIS MAPPING. THE SURVEY DOES NOT WARRANT THE ACCURACY OF ALL THE EXISTING FEATURES SHOWN ON THE PLAN.
6. THE PROPERTY LINES SHOWN ARE PER A SURVEY PREPARED BY ROBERT T. VOSS (SU-026848-E) AND DATED 11/01/2017. THE CURRENT SURVEYOR DOES NOT WARRANT THE ACCURACY OF THE PROPERTY LINES SHOWN.

ZONING DIMENSIONAL REQUIREMENTS	
ZONING DISTRICT: GENERAL COMMERCIAL (GC):	REQUIRED
Minimum gross lot:	22,280 SF.
Maximum floor area ratio (FAR):	0.35 x
Minimum lot frontage at building line:	100 Feet
Minimum principal building setbacks/build-to (front):	30 Feet (minimum); 45 Feet maximum (for purposes of courtyard, plaza, outdoor dining area, etc.) Buildings/facades shall be articulated. [Variation shall be articulated. (Variation in setback, and/or facade elevation height is encouraged.)]
Minimum principal building setback/build-to (side):	10 Feet
Minimum principal building setback/build-to (rear):	25 Feet
Sidewalk:	6 Feet minimum clear of all obstructions 45 Feet (3 stories) maximum
Maximum Building Height:	• Flat roof or pitched roof permitted • Green roofs permitted and encouraged • Utilities: HVAC, elevator penthouse, etc. shall not be visible from ground level and shall be screened.
Roof:	
Awnings:	4 Feet minimum depth 8 feet minimum clearance height above sidewalk 4 feet minimum distance from front edge to curb
Maximum building size:	50,000 SF.
Minimum green area:	15%
REFERENCE:	TOWNSHIP OF PETERS MUNICIPAL CODE §40-404.4; FIGURE GC.2.



**VICINITY MAP**  
NOT TO SCALE



REVISION HISTORY	
DATE	DESCRIPTION
11-15-24	Initial LD Plan Set Created
12-03-24	PTSA Final Approval
08-02-25	Building and appearance revision.
08-21-25	Building revision & Sanitary Line revision per As-Built Fieldwork.
10-27-25	Updated per Township comments.
01-29-26	Updated per Township comments.

**3836 WASHINGTON ROAD, LLC**  
**EXISTING CONDITIONS PLAN**

TAX I.D. 540-011-02-01-0025-00  
PETERS TOWNSHIP  
WASHINGTON COUNTY, PA

PROJECT NO.: 23.103  
DATE: 08/16/2024  
SCALE: 1" = 20'  
DRAWN BY: DBH  
CHECKED BY: S.O.

**harshman CE GROUP, LLC**

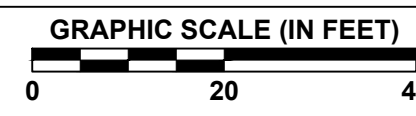
2455 PARK AVENUE  
WASHINGTON, PA 15301-8149  
T: 724.503.4125

DRAWING NO.: **23.103-LD02**  
SHEET NUMBER 2 OF 18

CALL BEFORE YOU DIG!  
PENNSYLVANIA LAW REQUIRES  
3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE & 10 WORKING DAYS IN DESIGN STAGE - STOP CALL  
Pennsylvania One Call System, Inc.  
**1-800-242-1776**  
SERIAL # 20252860987

FILE PATH: \\0.1.25.5\Server\Drawings\23.103\3836 Washington Road\23.103-01-29-26.dwg  
 LAYOUT: LD-EC  
 PLOT DATE: 1/29/2026 11:12:39 AM

**EXISTING CONDITIONS PLAN**



**EXISTING LEGEND**

- EX. INDEX CONTOUR (10 FOOT INTERVAL)
- EX. INTERMEDIATE CONTOUR (2 FOOT INTERVAL)
- EX. PROPERTY LINE
- ADJACENT PROPERTY LINE
- ZONING DISTRICT YARD SETBACKS
- RIGHT-OF-WAY
- EX. PAVEMENT W/ CENTERLINE
- EASEMENT
- EX. BUILDING/STRUCTURE
- EX. SOIL MAP UNIT DELINEATION
- EX. GASLINE & METER
- EX. SANITARY SEWER LINE W/ MANHOLE
- EX. OVERHEAD UTILITY LINE & POLE
- EX. STORMWATER PIPES W/ INLETS
- EX. GUIDE RAIL
- EX. STREAM
- EX. FLOODWAY
- EX. WETLAND
- EX. TREELINE
- EX. FLOODPLAIN
- EX. WATERLINE & VALVE

**DIMENSIONAL REQUIREMENTS & SUPPLEMENTARY DATA**

ZONING DISTRICT	REQUIRED	PROVIDED
<b>GENERAL COMMERCIAL (GC):</b>		
Minimum gross lot:	22,280 SF.	99,332.51 SF.
Minimum floor area ratio (FAR):	0.35	0.11
Minimum lot frontage at building line:	100 Feet	541.98 Feet
Minimum principal building setbacks/build-to (front):	30 Feet (minimum); 86 Feet maximum* (for purposes of courtyard, plaza, outdoor dining area, etc.) Buildings/facades shall be articulated. (Variation shall be articulated. (Variation in setback, and/or facade elevation height is encouraged).)	85.0 Feet
Minimum principal building setback/build-to (side):	10 Feet	63.98 Feet (min.), 87.47 Feet (max.)
Minimum principal building setback/build-to (rear):	25 Feet	N/A (no rear setback)
Maximum Building Height:	45 Feet (3 stories) maximum	42.5 Feet
Maximum building area:	50,000 SF.	9,295 SF.
Minimum green area:	15%	60.19%
Net lot area:	99,332.51 SF.	99,332.51 SF.
Impervious coverage (SF):		39,545.83 SF.
Impervious coverage (%):		39.81%
Total Building Area (SF):		9,251 SF.
Caffe's (Cigar & Wine Bar-Restaurant): Caffe Fiorentina (Cafe / Pastry Shop): New Leaf (Restaurant):		3,772 SF. 2,608 SF. 2,873 SF.
Tabulation of the parking spaces required and provided for each proposed building:	Refer to Parking Chart	Refer to Parking Chart

**PARKING CHART**

REQUIRED	PROVIDED
40 Spaces	62 Spaces
One (1) space per 220 gross square feet	

REFERENCE: TOWNSHIP OF PETERS MUNICIPAL CODE §440-507, FIGURE 500.8 & 500.9

**NO GRADING SHALL BE PERFORMED WITHIN 3' FROM THE PROPERTY LINE**

**25' SANITARY SEWER EASEMENT**

**CROSS-ACCESS EASEMENT AREA**

**REFER TO ACCESSIBLE PARKING STRIPING DETAIL**

**REFER TO ACCESSIBLE PARKING STALL STRIPING DETAIL**

**2-W WEAK POST W-BEAM GUIDE RAIL (NORMAL POST SPACING)**

**RETAINING WALL (Design by others)**

**ADA COMPLIANT RAILINGS (PER ARCHITECT)**

**ADA COMPLIANT RAILINGS (PER ARCHITECT)**

**20' DRAINAGE EASEMENT**

**AREA TO REMOVE VEGETATION & TOPSOIL. REPLACE WITH GEOTEXTILE & RIPRAP.**

**31-S STRONG POST W-BEAM GUIDE RAIL (NORMAL POST SPACING)**

**RETAINING WALL (Design by others)**

**INSTALL TYPE 31-S STRONG POST W-BEAM GUIDE RAIL (NORMAL POST SPACING) WITH 4" CONC. BARRIER CURB**

**CUT INTO CONCRETE WALL TO ACCESS SITE**

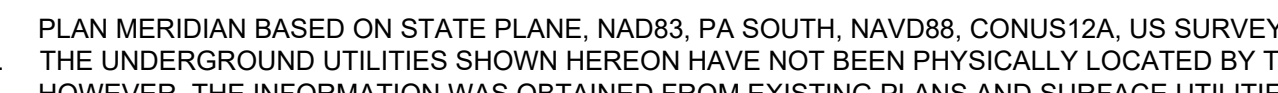
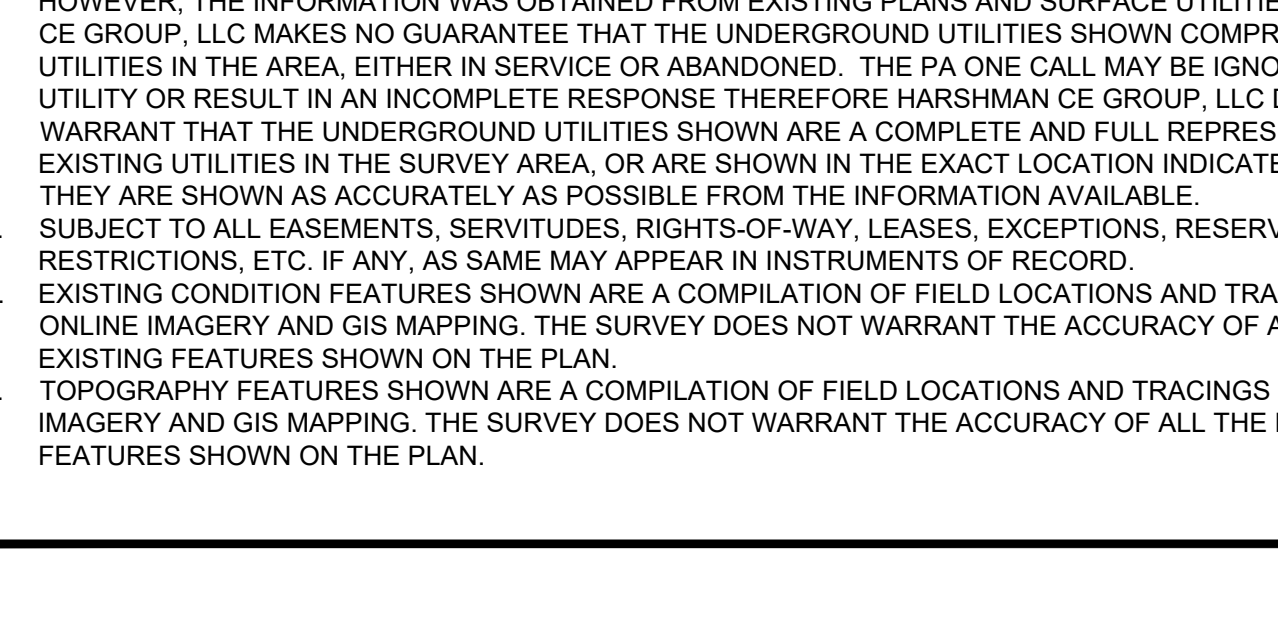
**30"x30" STOP LINE & STOP SIGN REFER TO DETAILS**

**H.O.P. CLAUSE: DRIVEWAY ACCESS TO THE STATE HIGHWAY SHALL BE ONLY AUTHORIZED BY A HIGHWAY OCCUPANCY PERMIT FROM THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION, AS REQUIRED PURSUANT TO §420 OF THE ACT OF JUNE 1, 1945 (P.L. 1242, NO. 428), KNOWN AS THE "STATE HIGHWAY LAW".**

**SITE NOTES:**

- REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS, AND OTHER BUILDING APPURTENANCES. VERIFY DIMENSIONS AND LOCATIONS SHOWN ON THE ARCHITECTURAL PLANS AND NOTIFY THE OWNER AND ENGINEER OF ANY CONFLICTS OR DISCREPANCIES PRIOR TO CONSTRUCTION. REFERENCE BUILDING CONSTRUCTION PLANS FOR EXACT LOCATION OF ALL UTILITY CONNECTIONS TO BUILDINGS, DOORSTEP LOCATIONS AND TRUCK WELLS, RETAINING WALL AND NOTIFY THE OWNER AND ENGINEER OF ANY CONFLICTS OR DISCREPANCIES PRIOR TO CONSTRUCTION.
- PROPOSED WATER AND GAS SERVICE LINES ARE SHOWN ILLUSTRATIVELY ONLY. CONSTRUCT TO AVOID CONFLICTS WITH OTHER SITE FEATURES, ADJUST AS REQUIRED. INSTALL PER THE BUILDING PLANS.
- PROVIDE PAVING MATERIALS IN ACCORDANCE WITH PennDOT PUBLICATION 408 AND PennDOT STANDARD DETAILS (PUB 72) AS AMENDED.

- GENERAL NOTES:**
- PLAN MERIDIAN BASED ON STATE PLANE, NAD83, PA SOUTH, NAVD88, CONUS12A, US SURVEY FEET.
  - THE UNDERGROUND UTILITIES SHOWN HEREON HAVE NOT BEEN PHYSICALLY LOCATED BY THE SURVEYOR, HOWEVER, THE INFORMATION WAS OBTAINED FROM EXISTING PLANS AND SURFACE UTILITIES. HARSHMAN CE GROUP, LLC MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE PA ONE CALL MAY BE IGNORED BY THE UTILITY OR RESULT IN AN INCOMPLETE RESPONSE THEREFORE HARSHMAN CE GROUP, LLC DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE A COMPLETE AND FULL REPRESENTATION OF EXISTING UTILITIES IN THE SURVEY AREA, OR ARE SHOWN IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE SHOWN AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.
  - SUBJECT TO ALL EASEMENTS, SERVITUDES, RIGHTS-OF-WAY, LEASES, EXCEPTIONS, RESERVATIONS, RESTRICTIONS, ETC. IF ANY, AS SAME MAY APPEAR IN INSTRUMENTS OF RECORD.
  - EXISTING CONDITION FEATURES SHOWN ARE A COMPILATION OF FIELD LOCATIONS AND TRACINGS OF ONLINE IMAGERY AND GIS MAPPING. THE SURVEY DOES NOT WARRANT THE ACCURACY OF ALL THE EXISTING FEATURES SHOWN ON THE PLAN.
  - TOPOGRAPHY FEATURES SHOWN ARE A COMPILATION OF FIELD LOCATIONS AND TRACINGS OF ONLINE IMAGERY AND GIS MAPPING. THE SURVEY DOES NOT WARRANT THE ACCURACY OF ALL THE EXISTING FEATURES SHOWN ON THE PLAN.



**CROSS ACCESS:** A LAND DEVELOPMENT PLAN IMPROVEMENT AGREEMENT (DEVELOPER'S AGREEMENT) AS WELL AS A SEPARATE AGREEMENT WILL BE EXECUTED WITH THE TOWNSHIP REGARDING THE CROSS ACCESS EASEMENT AREA. WHEN CONSTRUCTION OF THE CROSS ACCESS WILL OCCUR, WHO WILL BE RESPONSIBLE FOR CONSTRUCTION COSTS OF THE CROSS ACCESS, AS WELL AS ANY OTHER RELATED INFORMATION NEEDED FOR THE CROSS ACCESS AREA.

**RETAINING WALLS:** THE RETAINING WALLS ARE TO BE CONSTRUCTED AFTER THE UTILITIES ARE IN PLACE. THE RETAINING WALL FOUNDATIONS ARE NOT ANTICIPATED TO AFFECT THE CONSTRUCTION, OPERATION, OR MAINTENANCE OF THE UNDERGROUND FACILITIES.

**DEMOLITION NOTES:**

- NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM AT 811 A MINIMUM OF (3) DAYS PRIOR TO ANY DEMOLITION, EXCAVATION, OR CONSTRUCTION.
- ALL WORK AND MATERIALS TO COMPLY WITH THE SPECIFICATIONS AND WITH LOCAL, COUNTY, STATE, AND FEDERAL REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- IMPLEMENT AND MAINTAIN A WORK ZONE TRAFFIC CONTROL PLAN IN ACCORDANCE WITH PennDOT PUBLICATION 210 (WORK ZONE TRAFFIC CONTROL) FOR WORK IN OR ADJACENT TO VEHICULAR TRAFFIC AREAS. MAINTAIN ALL EXISTING PARKING, SIDEWALKS, ADA FACILITIES, DRIVES, ETC. CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO MAINTAIN PEDESTRIAN (INCLUDING ADA) AND VEHICULAR TRAFFIC TO AND FROM EXISTING AND ADJACENT TENANTS. COORDINATE PHASE CONSTRUCTION ACTIVITIES WITHIN THE PROXIMITY OF EXISTING TENANTS WITH THE BUSINESS MANAGER TO MINIMIZE DISTURBANCE AND INCONVENIENCE TO TENANT OPERATION AND CUSTOMERS.
- DESIGNATE AND MAINTAIN ON-SITE A TRAINED COMPETENT PERSON FOR ALL EXCAVATION WORK WHO SHALL BE ON CALL 24-HOURS-PER-DAY 7-DAYS-PER-WEEK IN CASE OF EMERGENCY. PROVIDE 24-HOUR CONTACT INFORMATION FOR THE TRAINED COMPETENT PERSON PRIOR TO ANY WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL OR RELOCATION, AND DISPOSAL OF ALL FACILITIES REQUIRED FOR CONSTRUCTION OF PROPOSED IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO ALL STRUCTURES, PAVS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIES, DRAINAGE FACILITIES, STRUCTURES, UTILITIES AS NOTED, ETC. UNDERCUT ALL REMOVED FACILITIES TO SUITABLE MATERIAL AND BRING TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL. DISPOSE OF DEMOLISHED MATERIALS, EXCAVATED MATERIALS, AND ALL OTHER UNSUITABLE MATERIALS IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES AND OBTAIN ALL NECESSARY PERMITS. CONTRACTOR MAY RECYCLE MATERIALS BY CRUSHING DEMOLISHED MATERIAL TO MEET THE GRADATION REQUIREMENTS. CONTRACTOR TO FIELD VERIFY AND IS RESPONSIBLE TO DETERMINE FINAL LIMITS OF DEMOLITION AND CLEARING.
- ALL HAZARDOUS MATERIALS/EQUIPMENT MUST BE HANDLED BY PROPERLY TRAINED CONTRACTORS AND/OR PERSONNEL AND MATERIALS TO BE DISPOSED OF SHALL BE DISPOSED IN ACCORDANCE WITH US EPA AND COMMONWEALTH OF PENNSYLVANIA HAZARDOUS WASTE REGULATIONS AND GUIDELINES.
- SAWCUT EXISTING CONCRETE AND BITUMINOUS PAVEMENTS AND CURBS BETWEEN IMPROVEMENTS TO BE REMOVED AT RIGHT ANGLE TO SURFACE TO PROVIDE NEAT, STRAIGHT LINES. SEAL SAWCUTS WITH BITUMINOUS MATERIAL.
- REMOVE DEMOLISHED MATERIALS FROM THE SITE IMMEDIATELY (UNLESS OTHERWISE NOTED) AND DISPOSE OF OFF-SITE IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND ORDINANCES. NO BURNING OF ANY MATERIALS WILL BE ALLOWED ON OR OFF-SITE.
- REPAIR OR REPLACE EXISTING FACILITIES TO REMAIN THAT ARE DAMAGED DURING DEMOLITION AND CONSTRUCTION AT CONTRACTOR'S EXPENSE.
- USE WATER SPRINKLING AND TEMPORARY ENCLOSURES TO MINIMIZE THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR. DO NOT USE WATER WHEN IT MAY CREATE HAZARDOUS CONDITIONS, ICE, FLOODING, OR POLLUTION.
- CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT AND DEBRIS CAUSED BY DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING PRIOR TO START OF THE WORK.
- PRIOR TO DEMOLITION ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED PER THE EROSION CONTROL PLAN AND THE CONTRACTOR MUST BE LISTED ON THE NPDES PERMIT. A COPY OF THE EROSION CONTROL PLAN AND NPDES PERMIT MUST BE AVAILABLE ON-SITE DURING ALL DEMOLITION AND EARTH DISTURBANCE ACTIVITIES.
- GIVE NOTICE TO AND COORDINATE WITH THE INVOLVED UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANIES' FORCES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL THE FEES AND CHARGES RELATED TO UTILITY COMPANY WORK. MAINTAIN UNINTERRUPTED UTILITY SERVICE FROM AFFECTED UTILITIES UNLESS A PLANNED SERVICE INTERRUPTION IS REQUIRED TO COMPLETE THE WORK. COORDINATE ANY PLANNED SERVICE INTERRUPTION IN UTILITY SERVICE WITH THE UTILITY COMPANY AND ALL AFFECTED PARTIES. TELETYPE ALL LINES PRIOR TO ABANDONING TO VERIFY THAT NO CONNECTIONS REMAIN. GROUT UTILITIES TO BE ABANDONED AND LEFT IN PLACE.
- ALL EXISTING SUBSURFACE UTILITY INFORMATION PRESENTED ON THE CONTRACT DRAWINGS IS CHARACTERIZED AS UTILITY QUALITY LEVEL C OR D PER "CIASCE 38-02- STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA" UNLESS SPECIFICALLY NOTED OTHERWISE. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION, EXCAVATION, OR CONSTRUCTION ACTIVITY, NOTIFY THE UTILITY COMPANIES FOR FIELD LOCATION OF EXISTING UTILITIES. VERIFY EXISTING CONDITIONS, LOCATE ALL UTILITIES BY DIGGING TEST PITS, AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. NOTIFY THE OWNER IMMEDIATELY OF ANY CONFLICTS WITH EXISTING UTILITIES. IMMEDIATELY AND COMPLETELY REPAIR EXISTING UTILITIES THAT ARE DAMAGED DURING DEMOLITION, EXCAVATION, OR CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
- ENVIRONMENTAL OR GEOTECHNICAL REPORTS PROVIDED BY THE OWNER OR ENGINEER ARE FOR INFORMATION ONLY AND SHOULD NOT BE RELIED ON AND THE CONTRACTOR MUST MAKE HIS OWN INDEPENDENT VERIFICATION AS HE DETERMINES IS ADDITIONAL COST TO THE OWNER.

**REFER TO ACCESSIBLE PARKING STALL STRIPING DETAIL**

**REFER TO ACCESSIBLE PARKING STRIPING DETAIL**

**25' SANITARY SEWER EASEMENT**

**CROSS-ACCESS EASEMENT AREA**

**REFER TO ACCESSIBLE PARKING STRIPING DETAIL**

**REFER TO ACCESSIBLE PARKING STALL STRIPING DETAIL**

**NO GRADING SHALL BE PERFORMED WITHIN 3' FROM THE PROPERTY LINE**

**25' SANITARY SEWER EASEMENT**

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**2-W WEAK POST W-BEAM GUIDE RAIL (NORMAL POST SPACING)**

**RETAINING WALL (Design by others)**

**ADA COMPLIANT RAILINGS (PER ARCHITECT)**

**ADA COMPLIANT RAILINGS (PER ARCHITECT)**

**20' DRAINAGE EASEMENT**

**AREA TO REMOVE VEGETATION & TOPSOIL. REPLACE WITH GEOTEXTILE & RIPRAP.**

**31-S STRONG POST W-BEAM GUIDE RAIL (NORMAL POST SPACING)**

**RETAINING WALL (Design by others)**

**INSTALL TYPE 31-S STRONG POST W-BEAM GUIDE RAIL (NORMAL POST SPACING) WITH 4" CONC. BARRIER CURB**

**CUT INTO CONCRETE WALL TO ACCESS SITE**

**30"x30" STOP LINE & STOP SIGN REFER TO DETAILS**

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**DEMOLITION NOTES:**

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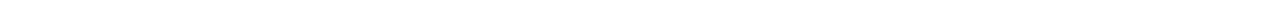


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**GENERAL NOTES:**

- PLAN MERIDIAN BASED ON STATE PLANE, NAD83, PA SOUTH, NAVD83, CONUS12A, US SURVEY FEET.
- THE UNDERGROUND UTILITIES SHOWN HEREON HAVE NOT BEEN PHYSICALLY LOCATED BY THE SURVEYOR. HOWEVER, THE INFORMATION WAS OBTAINED FROM EXISTING PLANS AND SURFACE UTILITIES. HARSHMAN CE GROUP, LLC MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. EITHER IN SERVICE OR ABANDONED. THE PA ONE CALL MAY BE IGNORED BY THE UTILITY OR RESULT IN AN INCOMPLETE RESPONSE. THEREFORE HARSHMAN CE GROUP, LLC DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE A COMPLETE AND FULL REPRESENTATION OF EXISTING UTILITIES IN THE SURVEY AREA, OR ARE SHOWN IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE SHOWN AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.
- SUBJECT TO ALL EASEMENTS, SERVITUDES, RIGHTS-OF-WAY, LEASES, EXCEPTIONS, RESERVATIONS, RESTRICTIONS, ETC. IF ANY, AS SAME MAY APPEAR IN INSTRUMENTS OF RECORD, EXISTING CONDITION FEATURES SHOWN ARE A COMPILATION OF FIELD LOCATIONS AND TRACINGS OF ONLINE IMAGERY AND GIS MAPPING. THE SURVEY DOES NOT WARRANT THE ACCURACY OF ALL THE EXISTING FEATURES SHOWN ON THE PLAN.
- TOPOGRAPHY FEATURES SHOWN ARE A COMPILATION OF FIELD LOCATIONS AND TRACINGS OF ONLINE IMAGERY AND GIS MAPPING. THE SURVEY DOES NOT WARRANT THE ACCURACY OF ALL THE EXISTING FEATURES SHOWN ON THE PLAN.

NO GRADING SHALL BE PERFORMED WITHIN 3' FROM THE PROPERTY LINE

25' SANITARY SEWER EASEMENT

CROSS-ACCESS EASEMENT AREA

AREA TO REMOVE VEGETATION & TOPSOIL. REPLACE WITH GEOTEXTILE & RIPRAP.

AREA OF TEMPORARY EXCAVATION FOR RETAINING WALL CONSTRUCTION (TYP.)

INFILTRATION TEST PIT (TP-1)

INFILTRATION TEST PIT (TP-2)

30"X30" STOP LINE & STOP SIGN REFER TO DETAILS

PROPOSED LEGEND

EXISTING LEGEND

EARTHWORK QUANTITIES

CROSS ACCESS:

RETAINING WALLS:

**STOP SIGN INSTALLATION NOTES:**

- STOP SHALL BE INSTALLED 12" MIN. (RECOMMENDED) 50" MAX. FROM EDGE OF TRAVEL WAY. PLACEMENT LOCATION SHOWN ON THIS PLAN IS 20' FROM NEAR EDGE OF TRAVEL WAY FOR OLD OAK ROAD. FIELD ADJUST SIGN LOCATION AS NECESSARY SO THAT THE MOUNTING POST WILL NOT PIERCE THE 84" CMP CULVERT PIPE. REFER TO DETAILS

WALL MODIFICATION APPROVAL:

- A WALL MODIFICATION REQUEST FROM 9228-8 WAS APPROVED WITH CONDITIONS BY THE PETERS TOWNSHIP COUNCIL ON FEBRUARY 14, 2022 FOR A RETAINING WALL AT 3836 WASHINGTON ROAD. CONDITIONS TO FOLLOW:
- THE PROPOSED RETAINING WALL WILL BE CONSTRUCTED WITH A DECORATIVE SEGMENTED WALL SIMILAR TO VERSA LOCK TO BE APPROVED BY THE TOWNSHIP.
- A RETAINING WALL CONSTRUCTION PLAN AND DETAIL MUST BE SUBMITTED THAT REFLECTS SOUND ENGINEERING PRACTICES AND BEARS THE SEAL OF A PROFESSIONAL ENGINEER. THE WALL PLANS SHALL BE REVIEWED AND APPROVED BY THE TOWNSHIP PRIOR TO CONSTRUCTION.
- SAFETY FENCING AND/OR GUIDE RAIL, BOLLARDS, OR SOME SIMILAR BARRIER AT LEAST FOUR (4) FEET IN HEIGHT BE PLACED ALONG THE TOP OF ANY PORTION OF THE WALL EXCEEDING SIX (6) FEET IN HEIGHT. THE ENGINEERED PLANS AND DETAILS MUST CONSIDER AND INCLUDE THIS SAME SAFETY BARRIER. FENCE/RAIL RETURNS NEED TO BE ADDED TO PREVENT ACCESS TO THE WALL.
- THE APPLICANT MUST ENSURE THAT ALL WALL CONSTRUCTION IS MONITORED AND INSPECTED BY A REGISTERED GEOTECHNICAL ENGINEER. PERIODIC INSPECTION REPORTS MUST BE SUBMITTED TO PETERS TOWNSHIP FOLLOWING CONSTRUCTION OF THE WALL. A FINAL LETTER SIGNED AND SEALED BY THE GEOTECHNICAL ENGINEER MUST BE SUBMITTED TO PETERS TOWNSHIP CERTIFYING THAT THE WALL WAS CONSTRUCTED IN ACCORDANCE WITH THE ENGINEERED DESIGN.
- THE LANDSCAPING SHOWN ON THE PROVIDED LANDSCAPE PLAN BE INCORPORATED INTO THE FINAL WALL/DETAIL DESIGN.
- THE MODIFICATION APPROVAL IS ONLY FOR THE RETAINING WALL IN QUESTION. ANY FUTURE DEVELOPMENT OF THE SITE (BUILDING, PARKING, ETC.) WILL REQUIRE A SITE PLAN APPROVAL FROM THE TOWNSHIP PLANNING COMMISSION.
- THE INITIAL SITE PLAN FOR THE RETAINING WALL SHALL INCLUDE CONSTRUCTING THE PROPOSED CONNECTION TO OLD OAK ROAD. THE UNDERTAKING OF ANY AND ALL FUTURE BUILDINGS SHALL BEAR ON VIRGIN GROUND TO PROTECT AGAINST ANY POTENTIAL SETTLEMENT UNLESS OTHERWISE DEEMED ACCEPTABLE BY A GEOTECHNICAL ENGINEER WHOM IS LICENSED IN THE STATE OF PENNSYLVANIA.

CALL BEFORE YOU DIG! PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE & 10 WORKING DAYS IN DESIGN STAGE - STOP CALL Pennsylvania One Call System, Inc. 1-800-242-1776 SERIAL # 20252860987

PROPOSED LEGEND

EXISTING LEGEND

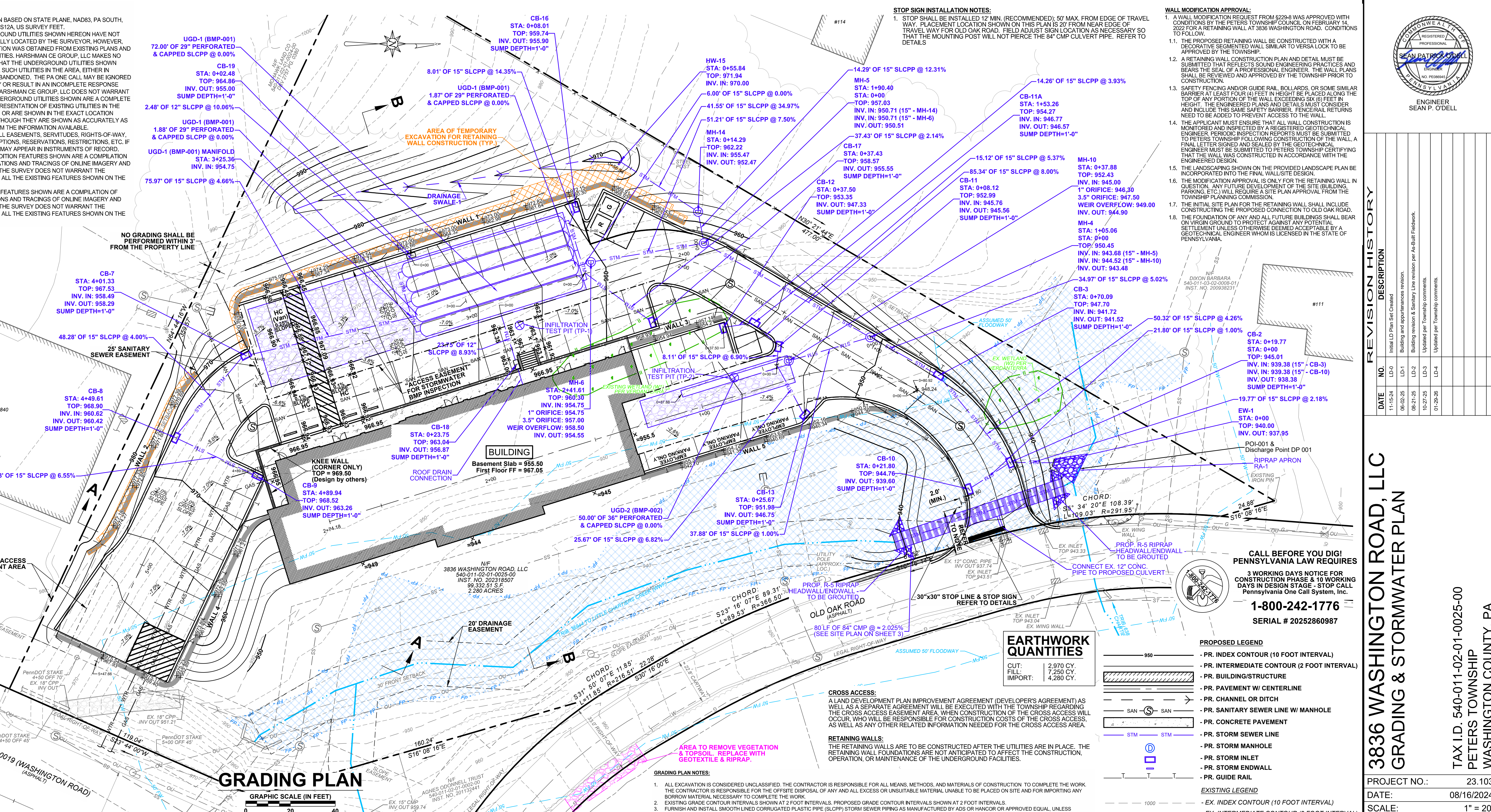
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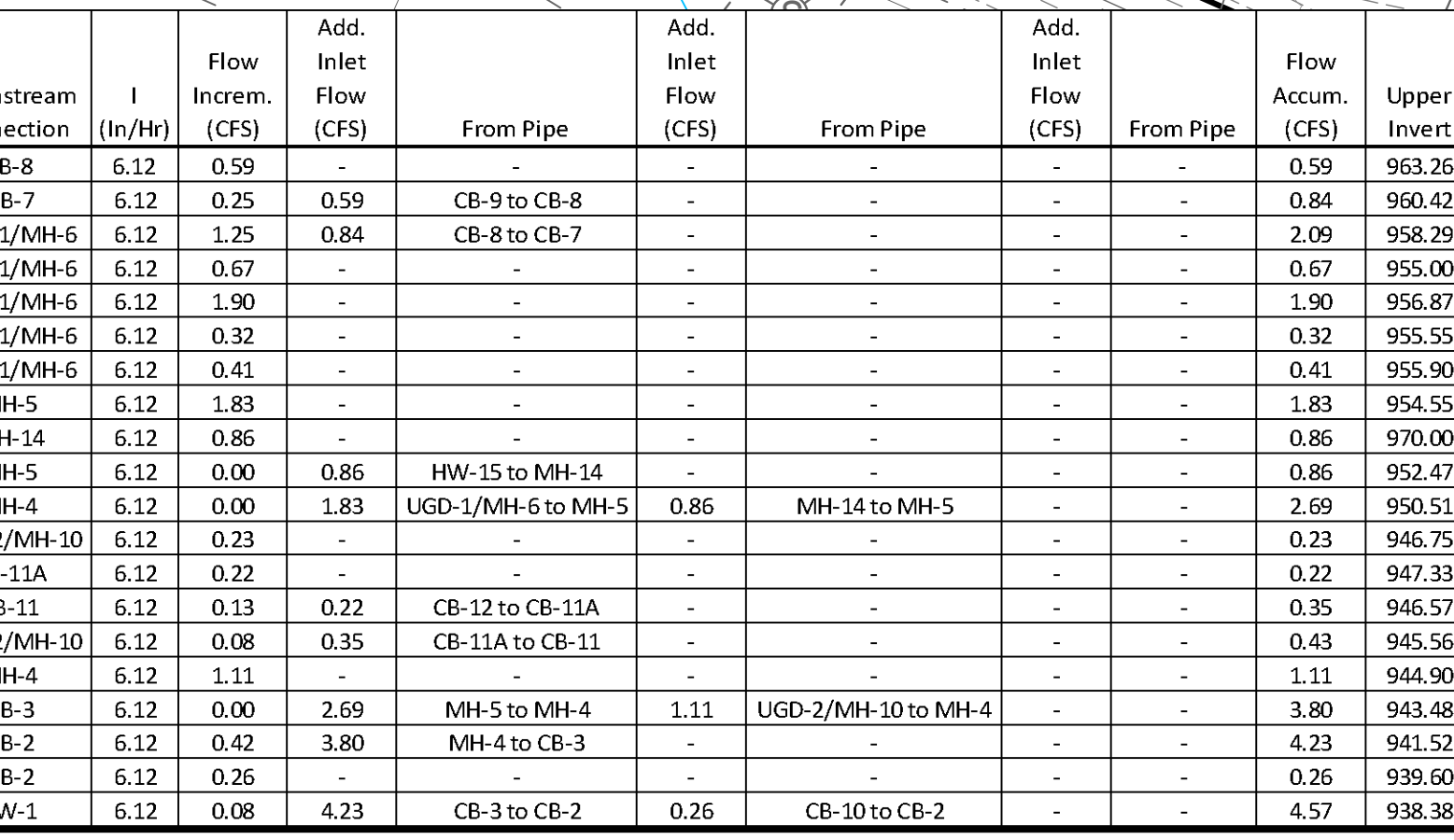
GRADING PLAN NOTES:

RETAINING WALL FOUNDATIONS SHOULD EXTEND TO COMPETENT MATERIALS OR BE UNDERCUT TO COMPETENT SOILS/ROCK UP TO A MAXIMUM OF THREE (3) FEET. IF THE SITE MATERIALS ARE STILL UNSTABLE AT THE MAXIMUM UNDERCUT DEPTH, THE SLOPE SHOULD BE STABILIZED BY PUNCHING TEN LIFTS OF ASHTO #1 OR #2-SIZED STONE INTO THE EXCAVATION. ANY STAYERS OF GEOTEXTILE (SFG-35) SHOULD BE PLACED AT THE BOTTOM OF THE UNDERCUT. PENDOT 2A CRUSHED LIMESTONE SHOULD BE PLACED AND COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY (MDD) AS DETERMINED BY ASTM D-98 (STANDARD PROCTOR). EACH SUBSEQUENT LIFT SHOULD BE COMPACTED TO 95% OF THE MDD. THE BACKFILL SHOULD BE COMPACTED IN A MINIMUM OF FOUR (4) LIFTS. THE UNDERCUT SHOULD EXTEND A MAXIMUM OF TWO (2) FEET BEYOND THE WALL FACE AND TWO (2) FEET BEYOND THE REINFORCED ZONE.



**GRAPHIC SCALE (IN FEET)**

Upstream Connection	Downstream Connection	I (In/Hr)	Flow Incr. (CFS)	Add. Inlet Flow (CFS)	From Pipe	From Pipe	Add. Inlet Flow (CFS)	From Pipe	From Pipe	Flow Accum. (CFS)	Upper Invert	Lower Invert	Upper Rim	Length	Slope	Pipe Material	Pipe Dia (in)	Manning's 'N'	Velocity (ft/s)	Capacity (cfs)	Capacity Check
CB-9	CB-8	6.12	0.59	-	-	-	0.59	963.26	960.62	40.33	0.0655	SLCPP	15	0.012	14.63	17.95	OK				
CB-8	CB-7	6.12	0.25	0.59	CB-9 to CB-8	-	0.84	960.42	958.49	48.28	0.0400	SLCPP	15	0.012	11.43	14.03	OK				
CB-7	UGD-1/MH-6	6.12	1.25	0.84	CB-8 to CB-7	-	2.09	958.29	954.75	75.97	0.0466	SLCPP	15	0.012	12.34	15.15	OK				
CB-19	UGD-1/MH-6	6.12	0.67	-	-	-	0.67	955.00	954.75	964.86	2.48	0.1008	SLCPP	12	0.012	15.65	12.29	OK			
CB-18	UGD-1/MH-6	6.12	1.90	-	-	-	1.90	956.87	954.75	963.04	23.75	0.0893	SLCPP	12	0.012	14.72	11.56	OK			
CB-17	UGD-1/MH-6	6.12	0.32	-	-	-	0.32	955.55	954.75	958.57	37.43	0.0214	SLCPP	15	0.012	8.36	10.26	OK			
CB-16	UGD-1/MH-6	6.12	0.41	-	-	-	0.41	955.90	954.75	959.74	8.01	0.1436	SLCPP	15	0.012	21.67	26.59	OK			
UGD-1/MH-6	MH-5	6.12	1.83	-	-	-	1.83	954.55	950.71	960.30	51.21	0.0750	SLCPP	15	0.012	15.66	19.21	OK			
HW-15	MH-14	6.12	0.86	-	-	-	0.86	970.00	955.47	971.94	41.55	0.3497	SLCPP	15	0.012	33.81	41.49	OK			
MH-14	MH-5	6.12	0.00	0.86	HW-15 to MH-14	-	0.86	952.47	950.71	962.22	14.29	0.1232	SLCPP	15	0.012	20.07	24.63	OK			
MH-5	MH-4	6.12	0.00	1.83	UGD-1/MH-6 to MH-5	0.86	2.69	950.51	943.68	957.03	85.34	0.0800	SLCPP	15	0.012	16.18	19.85	OK			
CB-13	UGD-2/MH-10	6.12	0.23	-	-	-	0.23	946.75	945.00	951.98	25.67	0.0682	SLCPP	15	0.012	14.93	18.32	OK			
CB-12	CB-11A	6.12	0.22	-	-	-	0.42	947.33	946.77	953.35	14.26	0.0393	SLCPP	15	0.012	11.33	13.91	OK			
CB-11A	CB-11	6.12	0.13	0.22	CB-12 to CB-11A	-	0.35	946.57	945.76	954.27	15.12	0.0536	SLCPP	15	0.012	13.23	16.24	OK			
CB-11	UGD-2/MH-10	6.12	0.08	0.35	CB-11A to CB-11	-	0.43	945.56	945.00	952.99	8.11	0.0691	SLCPP	15	0.012	15.03	18.44	OK			
UGD-2/MH-10	MH-4	6.12	1.11	-	-	-	1.11	944.90	944.52	952.43	37.88	0.1000	SLCPP	15	0.012	5.73	7.03	OK			
MH-4	CB-3	6.12	0.00	2.69	MH-5 to MH-4	1.11	3.80	943.48	941.72	950.45	34.97	0.0503	SLCPP	15	0.012	12.83	15.74	OK			
CB-3	CB-2	6.12	0.42	3.80	MH-4 to CB-3	-	4.23	941.52	939.38	947.70	50.32	0.0425	SLCPP	15	0.012	11.79	14.47	OK			
CB-10	CB-2	6.12	0.26	-	-	-	0.26	939.60	939.38	944.76	21.80	0.1010	SLCPP	15	0.012	5.74	7.05	OK			
CB-2	EW-1	6.12	0.08	4.23	CB-3 to CB-2	0.26	4.57	938.38	937.95	945.01	19.77	0.0218	SLCPP	15	0.012	8.43	10.35	OK			



GRAVING PLAN NOTES:

- ALL EXCAVATION IS CONSIDERED UNCLASSIFIED. THE CONTRACTOR IS RESPONSIBLE FOR ALL MEANS, METHODS, AND MATERIALS OF CONSTRUCTION TO COMPLETE THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR THE OFFSITE DISPOSAL OF ANY AND ALL EXCESS OR UNSUITABLE MATERIAL UNABLE TO BE PLACED ON SITE AND FOR IMPORTING ANY BORROW MATERIAL NECESSARY TO COMPLETE THE WORK.
- EXISTING GRADE CONTOUR INTERVALS SHOWN AT 2 FOOT INTERVALS. PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 2 FOOT INTERVALS.
- FURNISH AND INSTALL SMOOTH LINED CORRUGATED PLASTIC PIPE (SLCPP) STORM SEWER PIPING AS MANUFACTURED BY ADS OR HANCOX OR APPROVED EQUAL UNLESS OTHERWISE INDICATED.
- FURNISH AND INSTALL PENDOT TYPE 'M' INLETS WITH CAST IRON FRAMES WITHIN PAVED AREAS. FURNISH AND INSTALL STANDARD OR MODIFIED INLET BASE UNITS AS NECESSARY TO ACCOMMODATE PIPE SIZES AND ANGLE OF PIPE ENTRY. FOR EVERY INLET IN PAVED AREAS, FURNISH AND INSTALL 10 LINEAL FEET OF 4-INCH PERFORATED SCHEDULE 40 PVC RADIAL UNDERDRAIN IN EACH DIRECTION THAT IS UNDER SURFACE TO BE PAVED.
- INSTALL STORM SEWER MANHOLES IN PAVED AREAS WITH TOP ELEVATIONS FLUSH WITH PAVEMENT. INSTALL MANHOLES IN UNPAVED AREAS WITH TOP ELEVATIONS 6" ABOVE FINISH GRADE. UNLESS OTHERWISE NOTED, INSTALL TRAFFIC HEARING RINGS AND COVERS ON ALL STORM SEWER MANHOLES. COVERS SHALL BE LABELED "STORM SEWER".
- ADJUST PROPOSED PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE TO EXISTING PAVEMENT. ADJUST TOP ELEVATIONS OF EXISTING UTILITY STRUCTURES AND OTHER EXISTING STRUCTURES TO REMAIN AS NECESSARY TO PROPOSED FINISHED GRADE AND PAVEMENT ELEVATIONS.
- ADJUST GRADES AS NECESSARY TO ASSURE DRAINAGE AWAY FROM BUILDINGS AND TOWARD EXISTING OR PROPOSED STORM SEWER STRUCTURES FOR ALL PAVED AND UNPAVED AREAS. ADJUST GRADES AND INLET TOP ELEVATIONS AS NECESSARY TO PROVIDE POSITIVE DRAINAGE.
- PLACE 4-6 INCHES OF TOPSOIL ON ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION. INSTALL STABILIZATION FABRIC ON ALL SLOPES 3H:1V OR STEEPER. SEED DISTURBED AREAS IN ACCORDANCE WITH COUNTY CONSERVATION DISTRICT AND PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION SPECIFICATIONS AND WATER UNTIL A HEALTHY STAND OF GRASS IS GROWN.
- TRANSITION ALL TEMPORARY PAVING OR GRADE CHANGES IN VEHICULAR OR PEDESTRIAN TRAVEL WAYS TO PROVIDE A SMOOTH TRAVEL WAY AND AVOID TRIP HAZARDS.
- COLLECT GROUNDWATER SEEPAGE, IF ENCOUNTERED DURING EXCAVATION, VIA UNDERDRAIN AND DISCHARGE IN THE STORM SEWER SYSTEM. AREAS OF DRAINAGE ENCOUNTERED SHALL BE DESIGNATED AS AS-BUILT PLANS.
- OVER-EXCAVATE EXISTING FILL MATERIAL CONTAINING ORGANIC MATERIAL AS DIRECTED BY THE GEOTECHNICAL ENGINEER AND REPLACE WITH COMPACTED SUITABLE MATERIAL.
- PARGE THE INTERIOR SURFACE OF ALL INLET STRUCTURES WITH PORTLAND CEMENT GROUT. GROUT ANNUAL SPACE AROUND STORM PIPES WHERE ENTERING STRUCTURES TO ASSURE WATER-TIGHT CONNECTION AT STRUCTURE. GROUT PIPES ON EXTERIOR OF STRUCTURES PRIOR TO BACKFILL AND ON THE INTERIOR OF STRUCTURES AFTER BACKFILL AND COMPACTOR ARE COMPLETE.
- THE GRADING PLAN HAS BEEN PREPARED BASED ON THE SUBSURFACE INVESTIGATION REPORT PREPARED BY ARTUSO CONSTRUCTION ENGINEERING CONSULTANTS (CEC), DATED 1-27-2026. CONTRACTOR REFER TO THE SUBSURFACE INVESTIGATION REPORT FOR ALL CONSTRUCTION DETAILS RELATED TO CUT AND FILL SLOPE AND STORMWATER DETENTION BASIN ENHANCEMENTS. ENVIRONMENTAL OR GEOTECHNICAL REPORTS PROVIDED BY THE OWNER OR ENGINEER ARE FOR INFORMATION ONLY AND SHOULD NOT BE RELIED ON AND THE CONTRACTOR MUST MAKE HIS OWN INDEPENDENT VERIFICATION AS HE DETERMINES IS NECESSARY. CONDUCT ADDITIONAL TESTS DETERMINED NECESSARY FOR CONSTRUCTION OF THE IMPROVEMENTS AT NO ADDITIONAL COST TO THE OWNER.
- REFER TO GRADING RECOMMENDATIONS FROM THE GEOTECHNICAL REPORT PAGES 8 TO 12.
- IN COORDINATION WITH THE DESIGN CONSULTANT FOR THE RETAINING WALL DO NOT ANTICIPATE THE RETAINING WALL FOUNDATIONS TO AFFECT THE DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE OF THE PROPOSED UNDERGROUND DETENTION FACILITIES.
- RETAINING WALL FOUNDATIONS SHOULD EXTEND TO COMPETENT MATERIALS OR BE UNDERCUT TO COMPETENT SOILS/ROCK UP TO A MAXIMUM OF THREE (3) FEET. IF THE SITE MATERIALS ARE STILL UNSTABLE AT THE MAXIMUM UNDERCUT DEPTH, THE SLOPE SHOULD BE STABILIZED BY PUNCHING TEN LIFTS OF ASHTO #1 OR #2-SIZED STONE INTO THE EXCAVATION. ANY STAYERS OF GEOTEXTILE (SFG-35) SHOULD BE PLACED AT THE BOTTOM OF THE UNDERCUT. PENDOT 2A CRUSHED LIMESTONE SHOULD BE PLACED AND COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY (MDD) AS DETERMINED BY ASTM D-98 (STANDARD PROCTOR). EACH SUBSEQUENT LIFT SHOULD BE COMPACTED TO 95% OF THE MDD. THE BACKFILL SHOULD BE COMPACTED IN A MINIMUM OF FOUR (4) LIFTS. THE UNDERCUT SHOULD EXTEND A MAXIMUM OF TWO (2) FEET BEYOND THE WALL FACE AND TWO (2) FEET BEYOND THE REINFORCED ZONE.

PROPOSED LEGEND

EXISTING LEGEND

EARTHWORK QUANTITIES

CROSS ACCESS:

RETAINING WALLS:

GRADING PLAN NOTES:

RETAINING WALL FOUNDATIONS SHOULD EXTEND TO COMPETENT MATERIALS OR BE UNDERCUT TO COMPETENT SOILS/ROCK UP TO A MAXIMUM OF THREE (3) FEET. IF THE SITE MATERIALS ARE STILL UNSTABLE AT THE MAXIMUM UNDERCUT DEPTH, THE SLOPE SHOULD BE STABILIZED BY PUNCHING TEN LIFTS OF ASHTO #1 OR #2-SIZED STONE INTO THE EXCAVATION. ANY STAYERS OF GEOTEXTILE (SFG-35) SHOULD BE PLACED AT THE BOTTOM OF THE UNDERCUT. PENDOT 2A CRUSHED LIMESTONE SHOULD BE PLACED AND COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY (MDD) AS DETERMINED BY ASTM D-98 (STANDARD PROCTOR). EACH SUBSEQUENT LIFT SHOULD BE COMPACTED TO 95% OF THE MDD. THE BACKFILL SHOULD BE COMPACTED IN A MINIMUM OF FOUR (4) LIFTS. THE UNDERCUT SHOULD EXTEND A MAXIMUM OF TWO (2) FEET BEYOND THE WALL FACE AND TWO (2) FEET BEYOND THE REINFORCED ZONE.

STOP SIGN INSTALLATION NOTES:

- STOP SHALL BE INSTALLED 12" MIN. (RECOMMENDED) 50" MAX. FROM EDGE OF TRAVEL WAY. PLACEMENT LOCATION SHOWN ON THIS PLAN IS 20' FROM NEAR EDGE OF TRAVEL WAY FOR OLD OAK ROAD. FIELD ADJUST SIGN LOCATION AS NECESSARY SO THAT THE MOUNTING POST WILL NOT PIERCE THE 84" CMP CULVERT PIPE. REFER TO DETAILS

WALL MODIFICATION APPROVAL:

- A WALL MODIFICATION REQUEST FROM 9228-8 WAS APPROVED WITH CONDITIONS BY THE PETERS TOWNSHIP COUNCIL ON FEBRUARY 14, 2022 FOR A RETAINING WALL AT 3836 WASHINGTON ROAD. CONDITIONS TO FOLLOW:
- THE PROPOSED RETAINING WALL WILL BE CONSTRUCTED WITH A DECORATIVE SEGMENTED WALL SIMILAR TO VERSA LOCK TO BE APPROVED BY THE TOWNSHIP.
- A RETAINING WALL CONSTRUCTION PLAN AND DETAIL MUST BE SUBMITTED THAT REFLECTS SOUND ENGINEERING PRACTICES AND BEARS THE SEAL OF A PROFESSIONAL ENGINEER. THE WALL PLANS SHALL BE REVIEWED AND APPROVED BY THE TOWNSHIP PRIOR TO CONSTRUCTION.
- SAFETY FENCING AND/OR GUIDE RAIL, BOLLARDS, OR SOME SIMILAR BARRIER AT LEAST FOUR (4) FEET IN HEIGHT BE PLACED ALONG THE TOP OF ANY PORTION OF THE WALL EXCEEDING SIX (6) FEET IN HEIGHT. THE ENGINEERED PLANS AND DETAILS MUST CONSIDER AND INCLUDE THIS SAME SAFETY BARRIER. FENCE/RAIL RETURNS NEED TO BE ADDED TO PREVENT ACCESS TO THE WALL.
- THE APPLICANT MUST ENSURE THAT ALL WALL CONSTRUCTION IS MONITORED AND INSPECTED BY A REGISTERED GEOTECHNICAL ENGINEER. PERIODIC INSPECTION REPORTS MUST BE SUBMITTED TO PETERS TOWNSHIP FOLLOWING CONSTRUCTION OF THE WALL. A FINAL LETTER SIGNED AND SEALED BY THE GEOTECHNICAL ENGINEER MUST BE SUBMITTED TO PETERS TOWNSHIP CERTIFYING THAT THE WALL WAS CONSTRUCTED IN ACCORDANCE WITH THE ENGINEERED DESIGN.
- THE LANDSCAPING SHOWN ON THE PROVIDED LANDSCAPE PLAN BE INCORPORATED INTO THE FINAL WALL/DETAIL DESIGN.
- THE MODIFICATION APPROVAL IS ONLY FOR THE RETAINING WALL IN QUESTION. ANY FUTURE DEVELOPMENT OF THE SITE (BUILDING, PARKING, ETC.) WILL REQUIRE A SITE PLAN APPROVAL FROM THE TOWNSHIP PLANNING COMMISSION.
- THE INITIAL SITE PLAN FOR THE RETAINING WALL SHALL INCLUDE CONSTRUCTING THE PROPOSED CONNECTION TO OLD OAK ROAD. THE UNDERTAKING OF ANY AND ALL FUTURE BUILDINGS SHALL BEAR ON VIRGIN GROUND TO PROTECT AGAINST ANY POTENTIAL SETTLEMENT UNLESS OTHERWISE DEEMED ACCEPTABLE BY A GEOTECHNICAL ENGINEER WHOM IS LICENSED IN THE STATE OF PENNSYLVANIA.

CALL BEFORE YOU DIG! PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE & 10 WORKING DAYS IN DESIGN STAGE - STOP CALL Pennsylvania One Call System, Inc. 1-800-242-1776 SERIAL # 20252860987

PROPOSED LEGEND

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PROPOSED LEGEND

EXISTING LEGEND

EARTHWORK QUANTITIES

CROSS ACCESS:

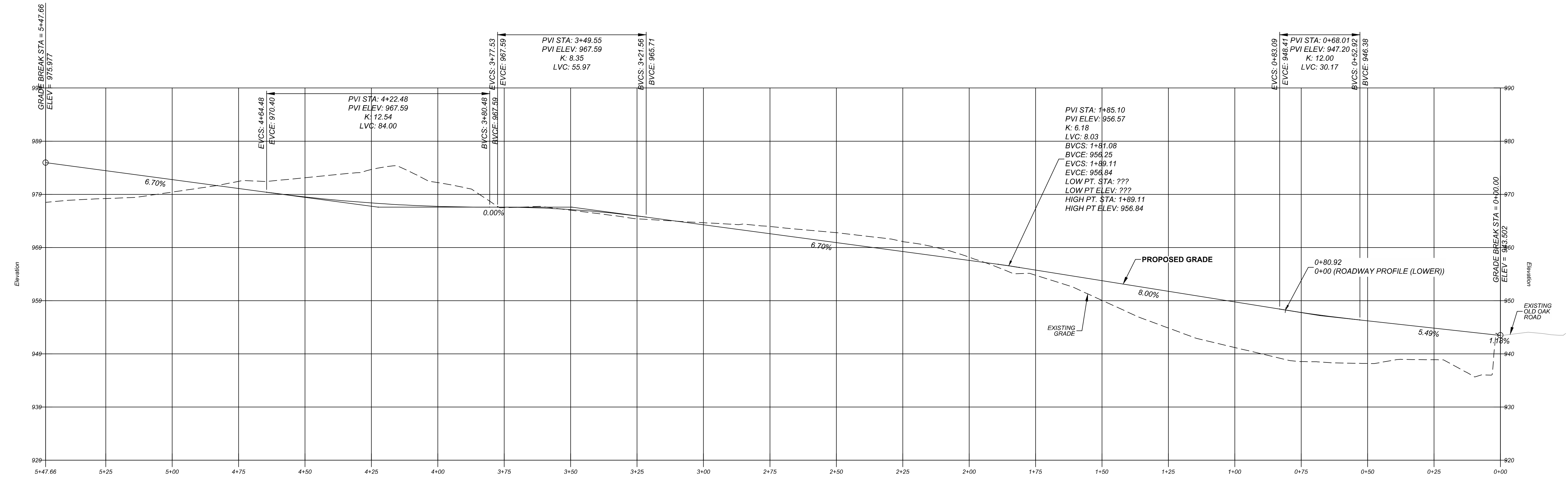
RETAINING WALLS:

GRADING PLAN NOTES:

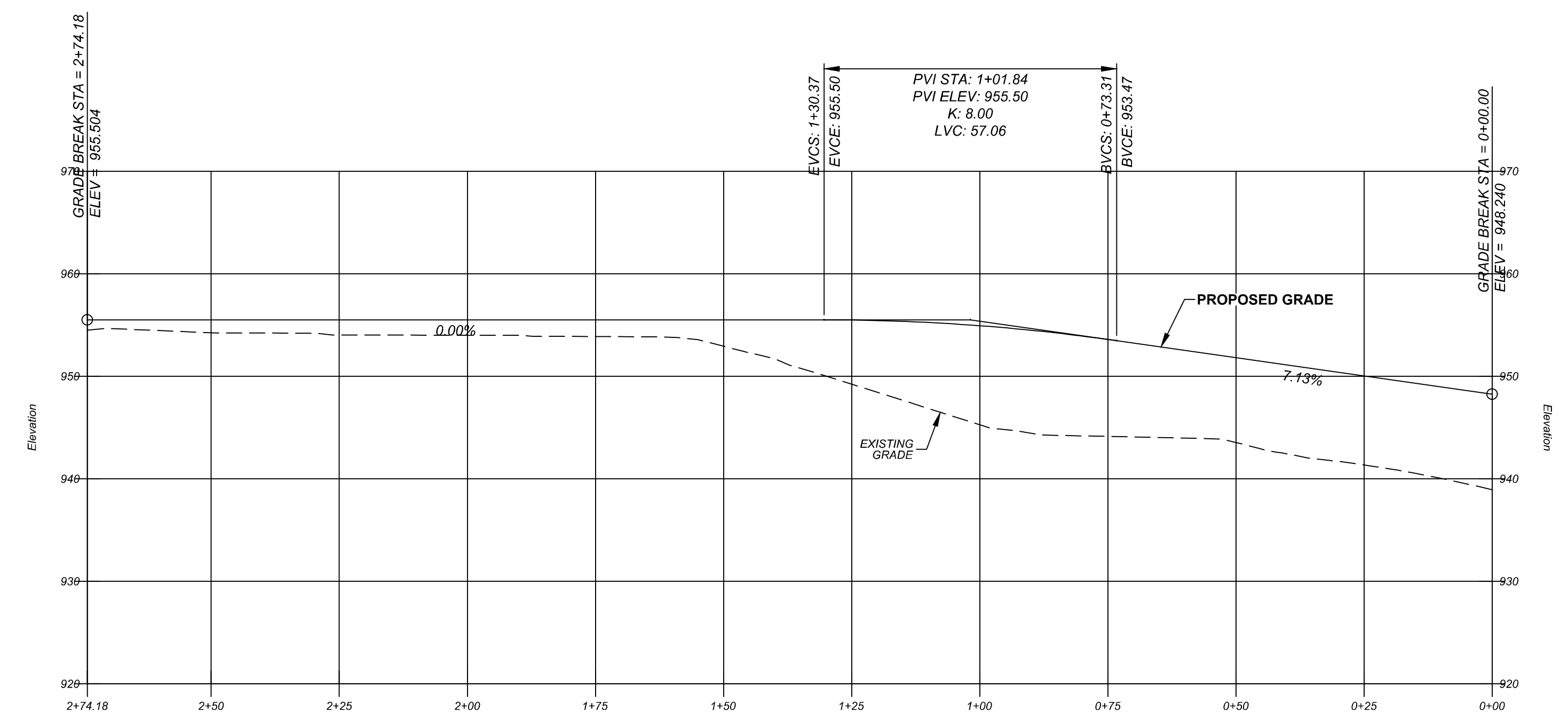
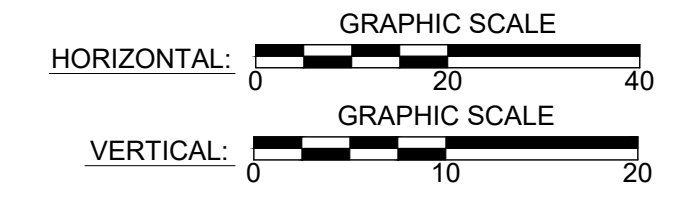
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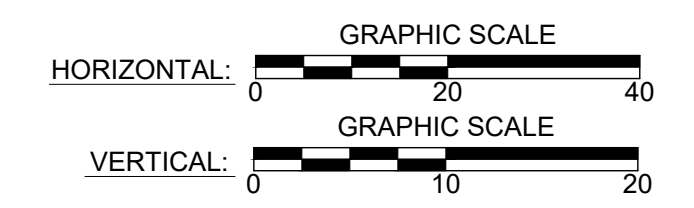
ENGINEER  
SEAN P. O'DELL



**ROADWAY PROFILE (UPPER)**



**ROADWAY PROFILE (LOWER)**



**REVISION HISTORY**

DATE	NO.	DESCRIPTION
11-15-24	LD-0	Initial LD Plan Set Created
06-02-25	LD-1	Building and appearance revision.
08-21-25	LD-2	Building revision & Sanitary Line revision per As-Built Network.
10-27-25	LD-3	Updated per Township comments.
01-29-26	LD-4	Updated per Township comments.

**3836 WASHINGTON ROAD, LLC  
ROADWAY PROFILES**

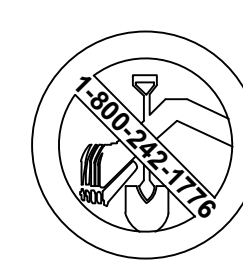
TAX I.D. 540-011-02-01-0025-00  
PETERS TOWNSHIP  
WASHINGTON COUNTY, PA

PROJECT NO.:	23.103
DATE:	08/16/2024
SCALE:	AS SHOWN
DRAWN BY:	L.R.H.
CHECKED BY:	S.O.



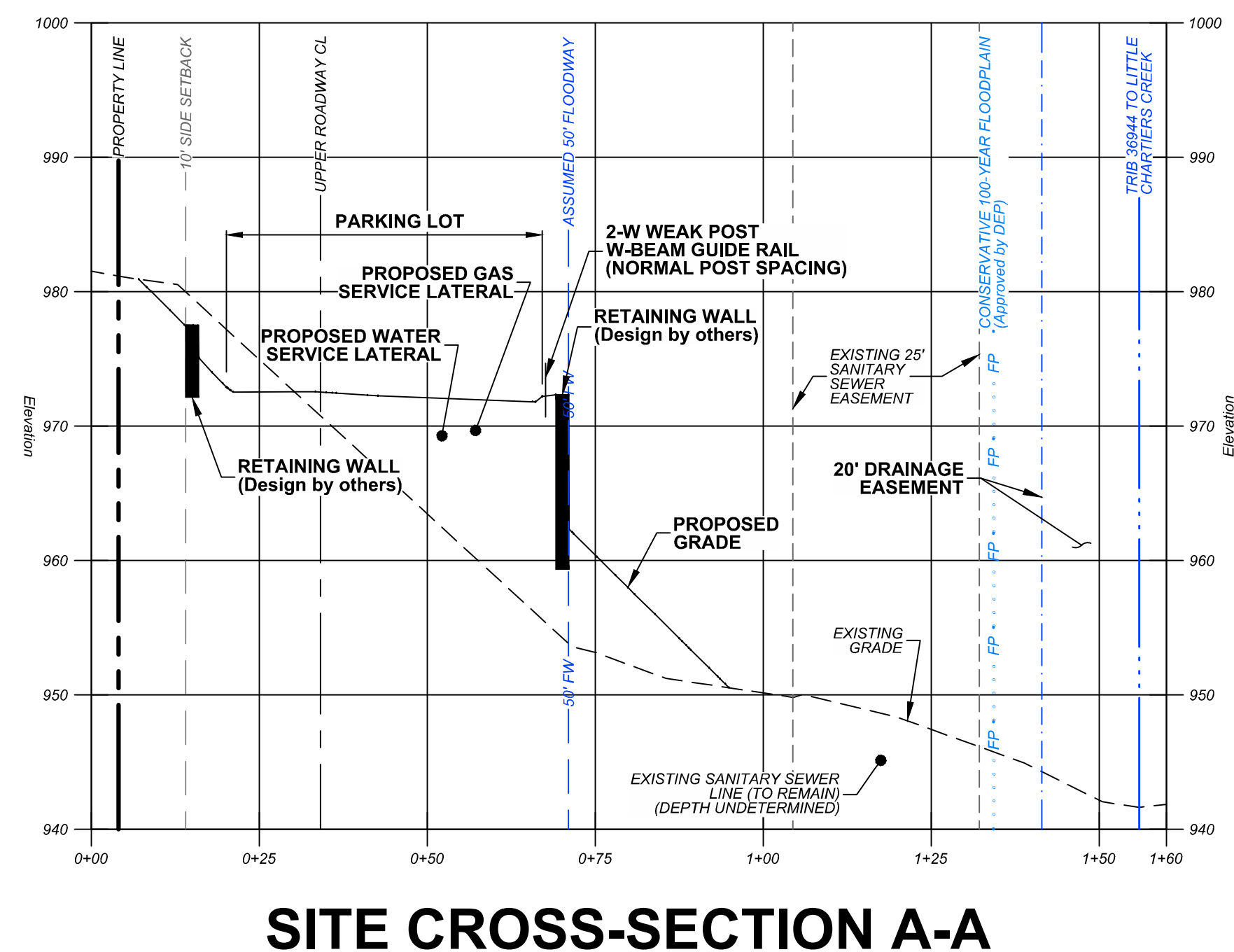
2455 PARK AVENUE  
WASHINGTON, PA 15301-8149  
T: 724.503.4125

DRAWING NO.:  
**23.103-LD05**  
SHEET NUMBER 5 OF 18

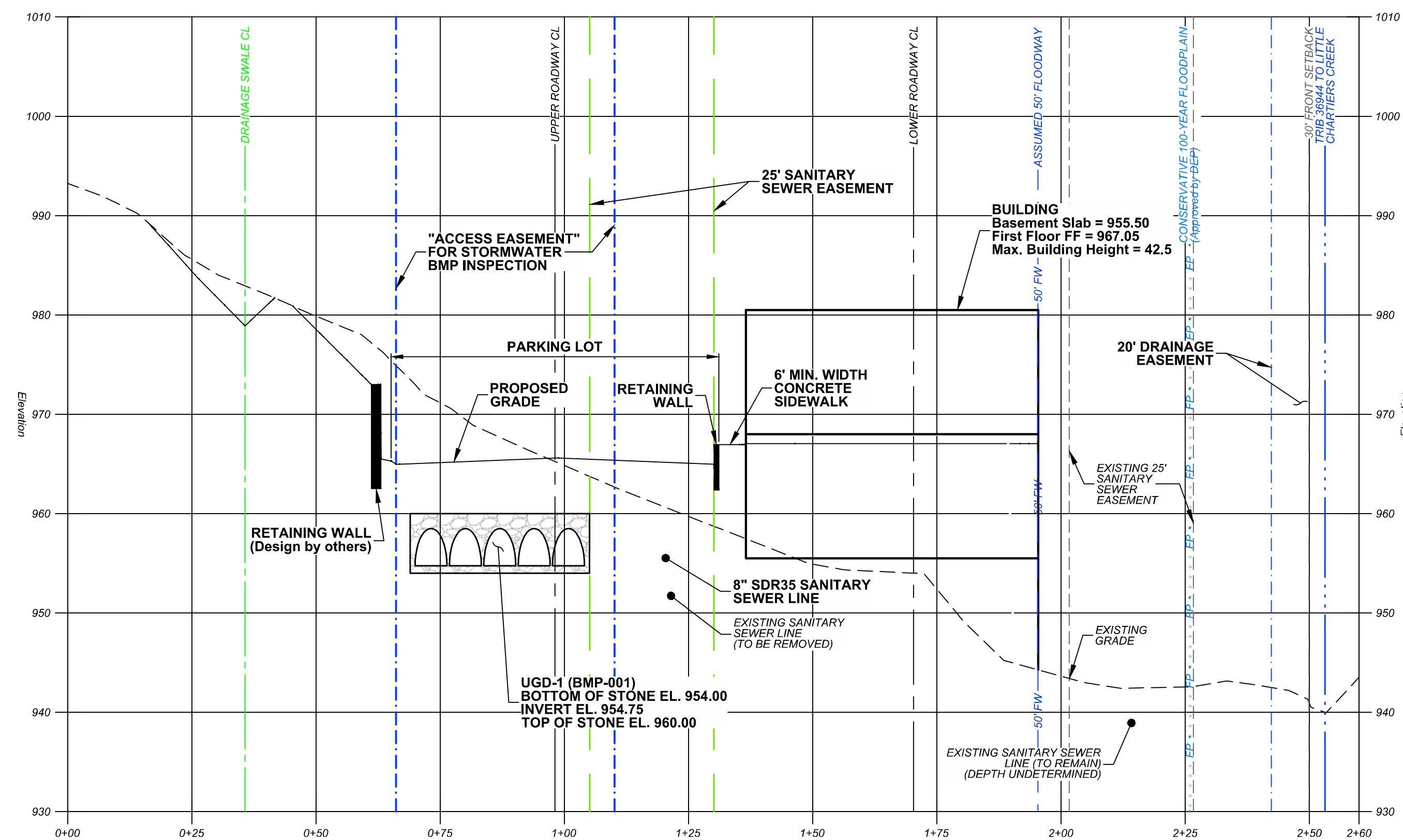
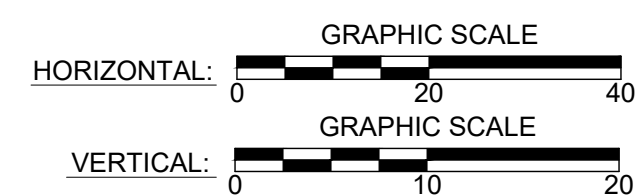


CALL BEFORE YOU DIG!  
PENNSYLVANIA LAW REQUIRES  
3 WORKING DAYS NOTICE FOR  
CONSTRUCTION PHASE & 10 WORKING  
DAYS IN DESIGN STAGE - STOP CALL  
Pennsylvania One Call System, Inc.  
**1-800-242-1776**  
SERIAL # 20252860987

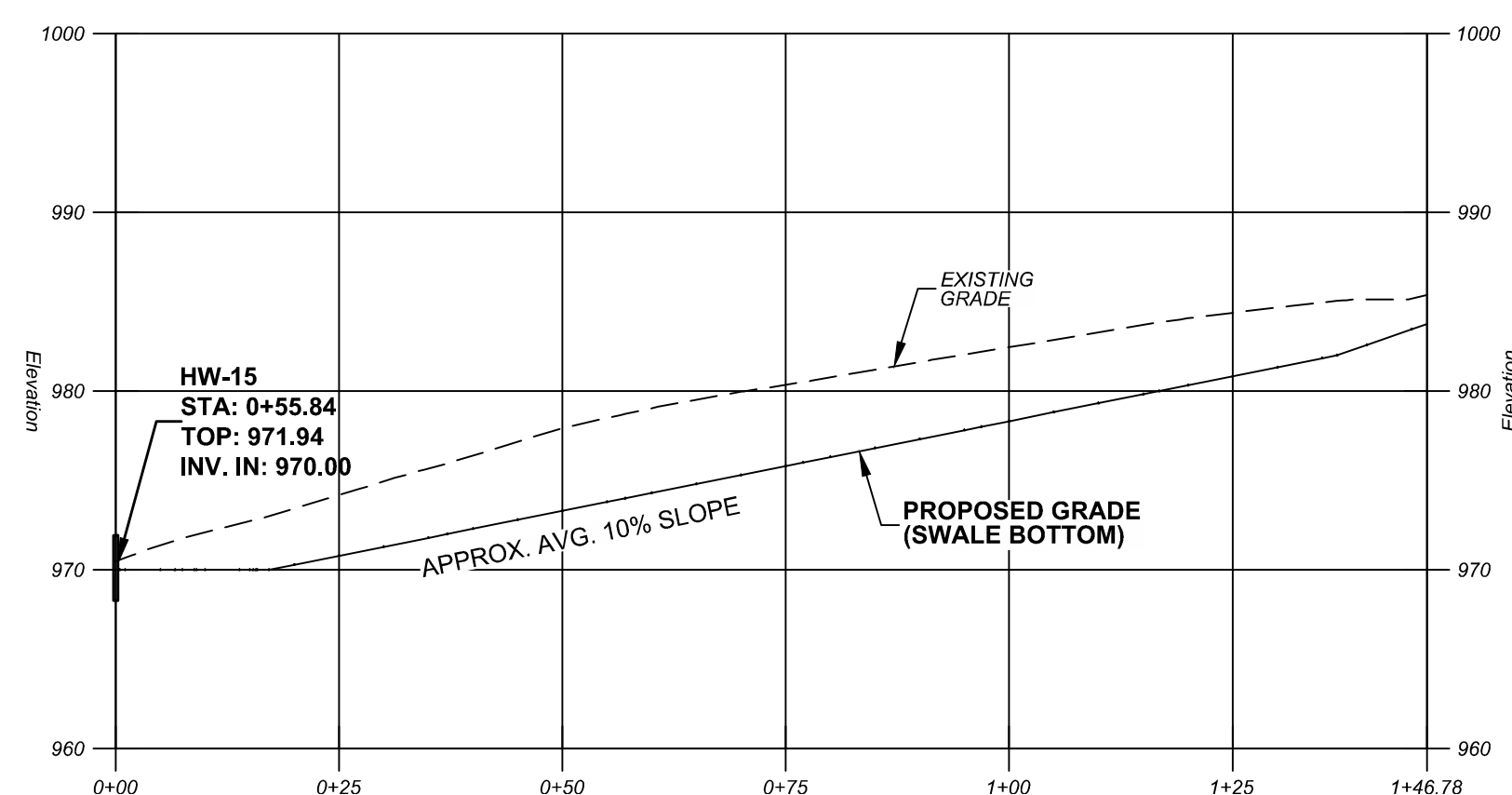
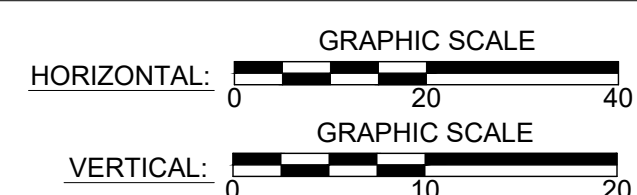
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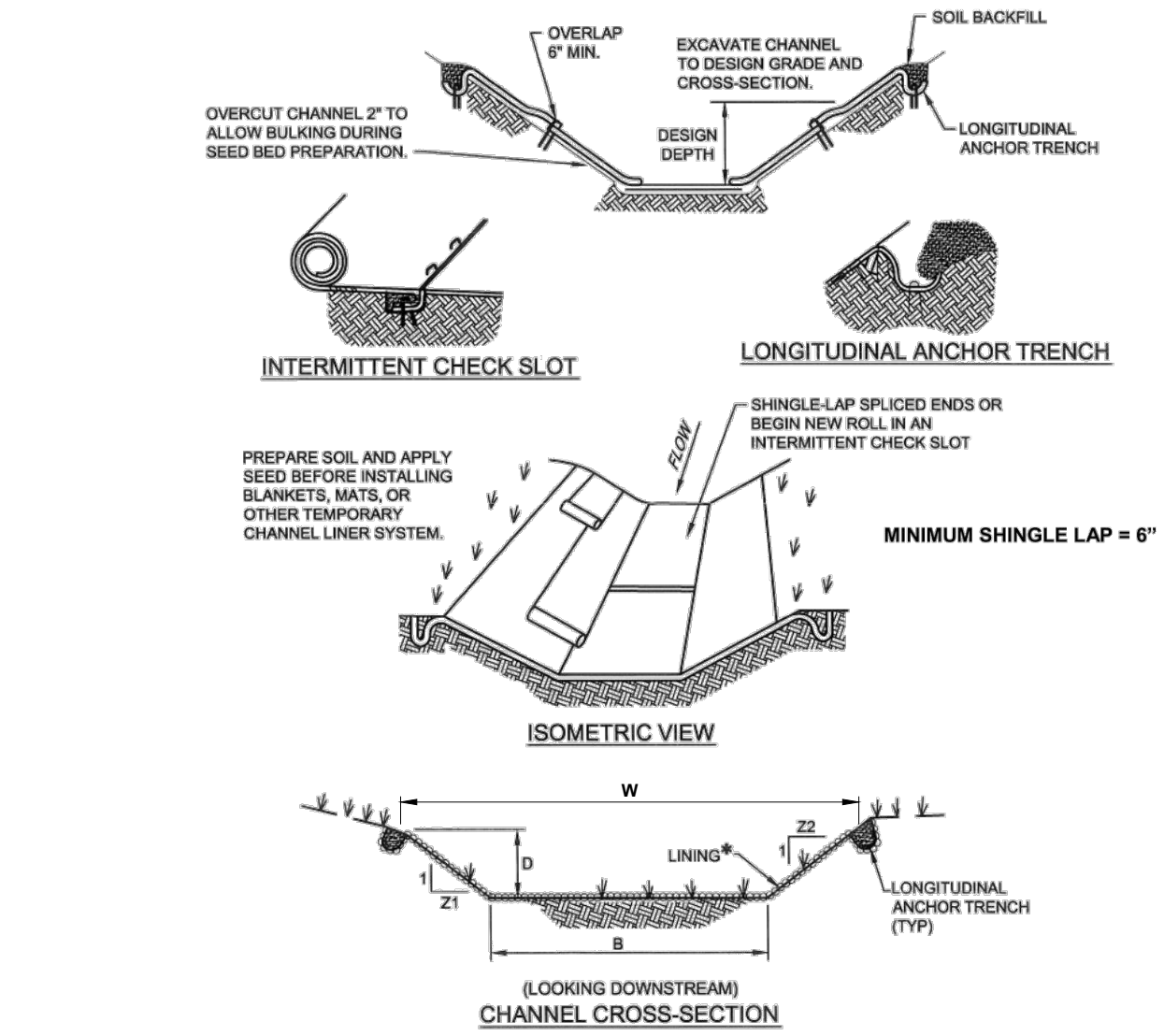
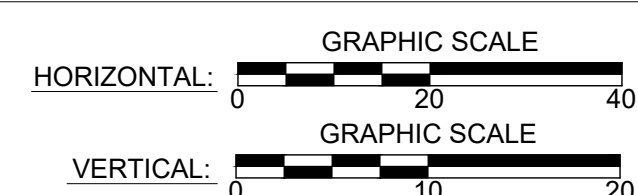
**SITE CROSS-SECTION A-A**



**SITE CROSS-SECTION B-B**



**DRAINAGE SWALE-1 PROFILE**



\*SEE MANUFACTURER'S LINING INSTALLATION DETAIL FOR STAPLE PATTERNS, AND VEGETATIVE STABILIZATION SPECIFICATIONS FOR SOIL AMENDMENTS, SEED MIXTURES AND MULCHING INFORMATION.  
Adapted from Salix Applied Earthcare - Erosion Draw 5.0

**VEGETATIVE CHANNELS**

**VEGETATIVE CHANNEL NOTES:**

- Anchor trenches shall be installed at beginning and end of channel in the same manner as longitudinal anchor trenches.
- Channel dimensions shall be constantly maintained.
- Channel shall be cleaned whenever total channel depth is reduced by 25% at any location.
- Sediment deposits shall be removed within 24 hours of discovery or as soon as soil conditions permit access to channel without further damage.
- Damaged lining shall be repaired or replaced within 48 hours of discovery.
- No more than one third of the shoot (grass leaf) shall be removed in any mowing.
- Grass height shall be maintained between 2 and 3 inches unless otherwise specified.
- Excess vegetation shall be removed from permanent channels to ensure sufficient channel capacity.

CHANNEL	SCM NO.	DESCRIPTION	BOTTOM WIDTH B (FT)	DEPTH D (FT)	TOP WIDTH W (FT)	Z1 (FT)	Z2 (FT)	LINING*
DRAINAGE SWALE	1	Permanent Diversion Channel	0	2.0 min.	8.0 min.	2	2	TRM

\*TRM SHALL BE PYRAMAT - 25 OR APPROVED EQUAL.

**VEGETATIVE SWALE DETAIL**

N.T.S.



**REVISION HISTORY**

DATE	NO.	DESCRIPTION
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10-27-25	LD-3	Updated per Township comments.
01-29-26	LD-4	Updated per Township comments.

**3836 WASHINGTON ROAD, LLC  
SITE CROSS-SECTIONS & SWALE PROFILE**

TAX I.D. 540-011-02-01-0025-00  
PETERS TOWNSHIP  
WASHINGTON COUNTY, PA

PROJECT NO.:	23.103
DATE:	08/16/2024
SCALE:	AS SHOWN
DRAWN BY:	L.R.H.
CHECKED BY:	S.O.



2455 PARK AVENUE  
WASHINGTON, PA 15301-8149  
T: 724.503.4125

DRAWING NO.:  
**23.103-LD06**  
SHEET NUMBER 6 OF 18

**CALL BEFORE YOU DIG!**  
PENNSYLVANIA LAW REQUIRES  
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CONSTRUCTION PHASE 8 TO WORKING  
DAYS IN DESIGN STAGE - STOP CALL  
Pennsylvania One Call System, Inc.  
**1-800-242-1776**  
SERIAL # 20252860987



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**REVISION HISTORY**

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01-29-26	LD-4	Updated per Township comments.

**3836 WASHINGTON ROAD, LLC  
STORMWATER PROFILES (SHEET 1 OF 2)**

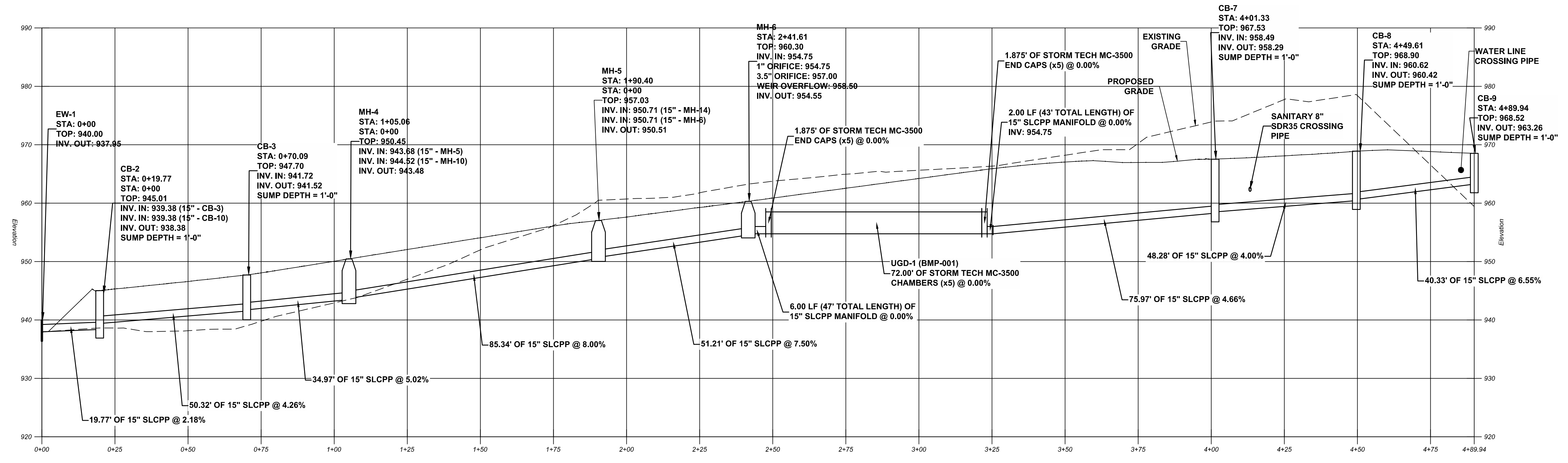
TAX I.D. 540-011-02-01-0025-00  
PETERS TOWNSHIP  
WASHINGTON COUNTY, PA

PROJECT NO.: 23.103  
DATE: 08/16/2024  
SCALE: AS SHOWN  
DRAWN BY: DBH  
CHECKED BY: S.O.

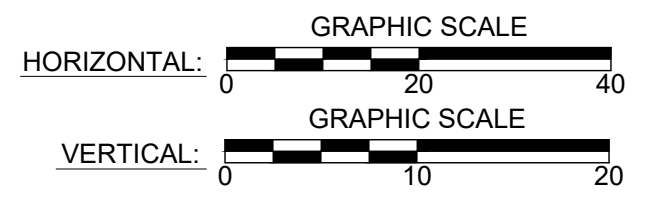


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DRAWING NO.:  
**23.103-LD07**  
SHEET NUMBER 7 OF 18



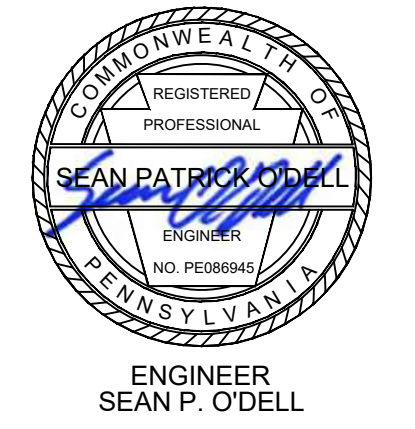
**STORMWATER PROFILE (EW #1 TO CB #9)**



- GENERAL NOTES:**
- PLAN MERIDIAN BASED ON STATE PLANE, NAD83, PA SOUTH, NAVD88, CONUS12A, US SURVEY FEET.
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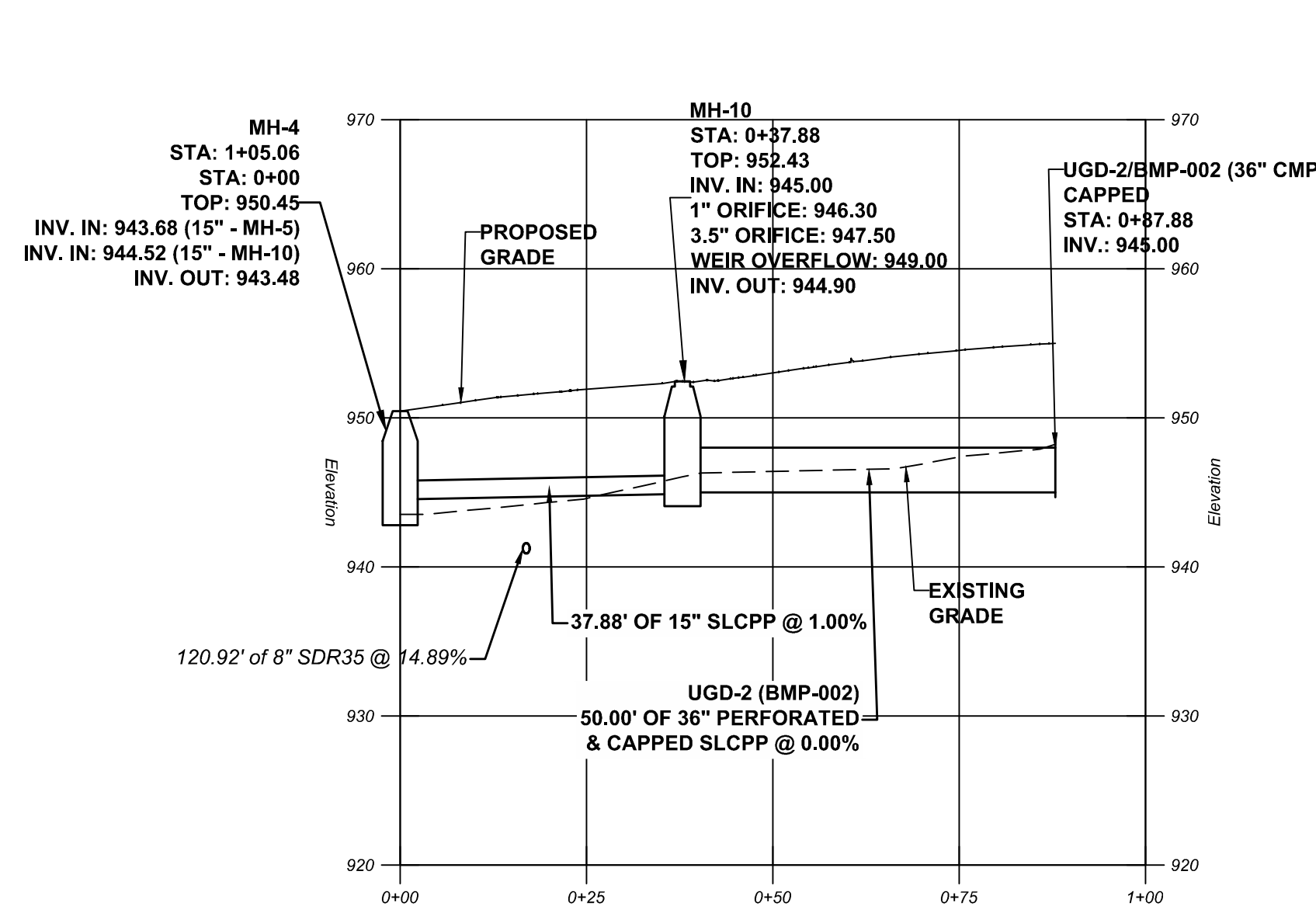
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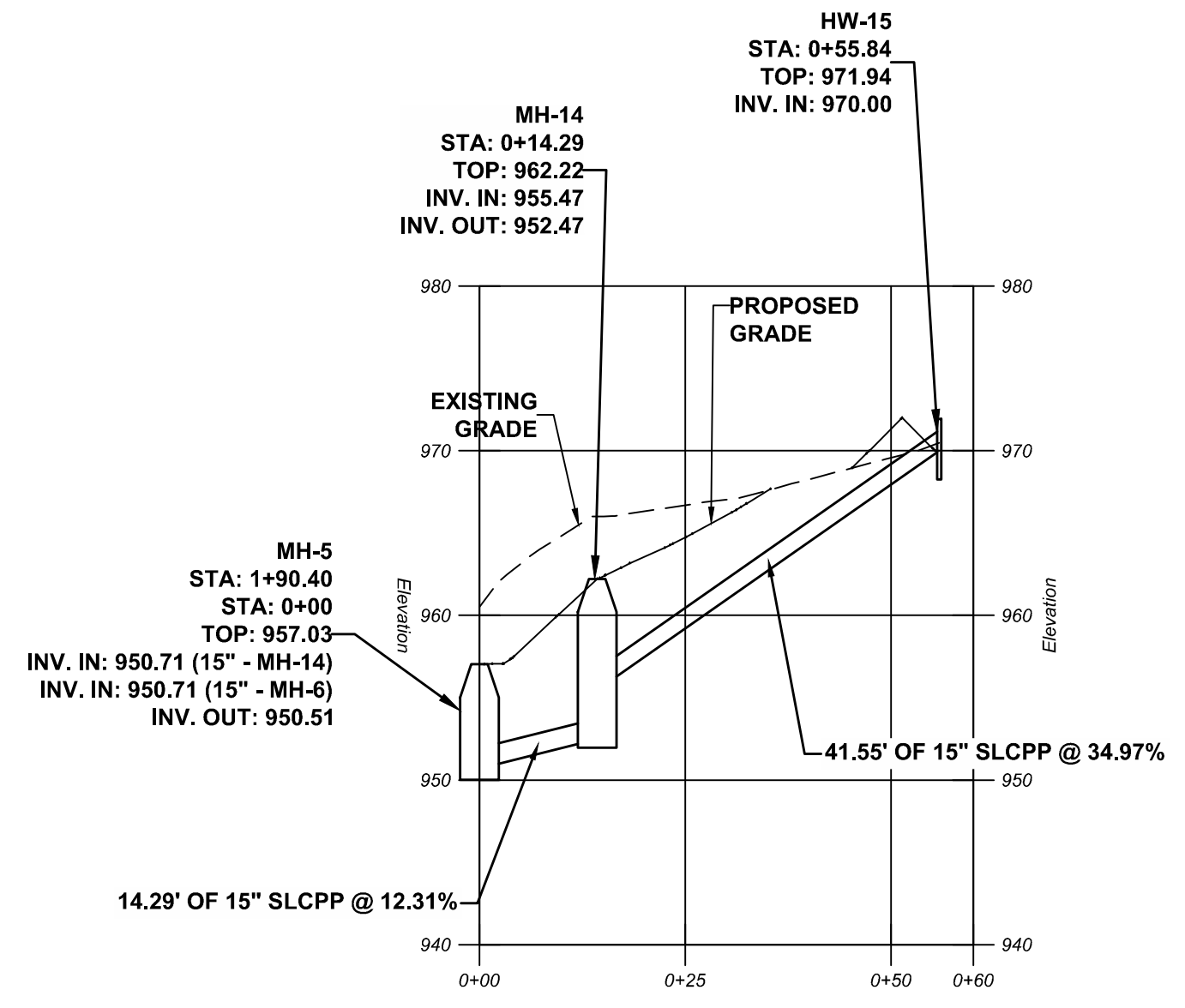
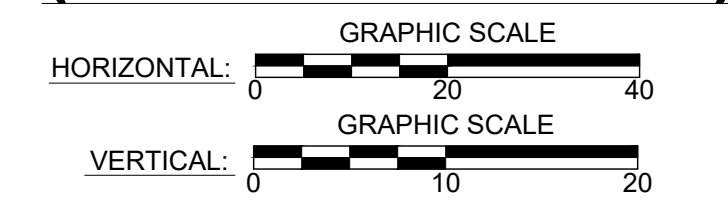


**REVISION HISTORY**

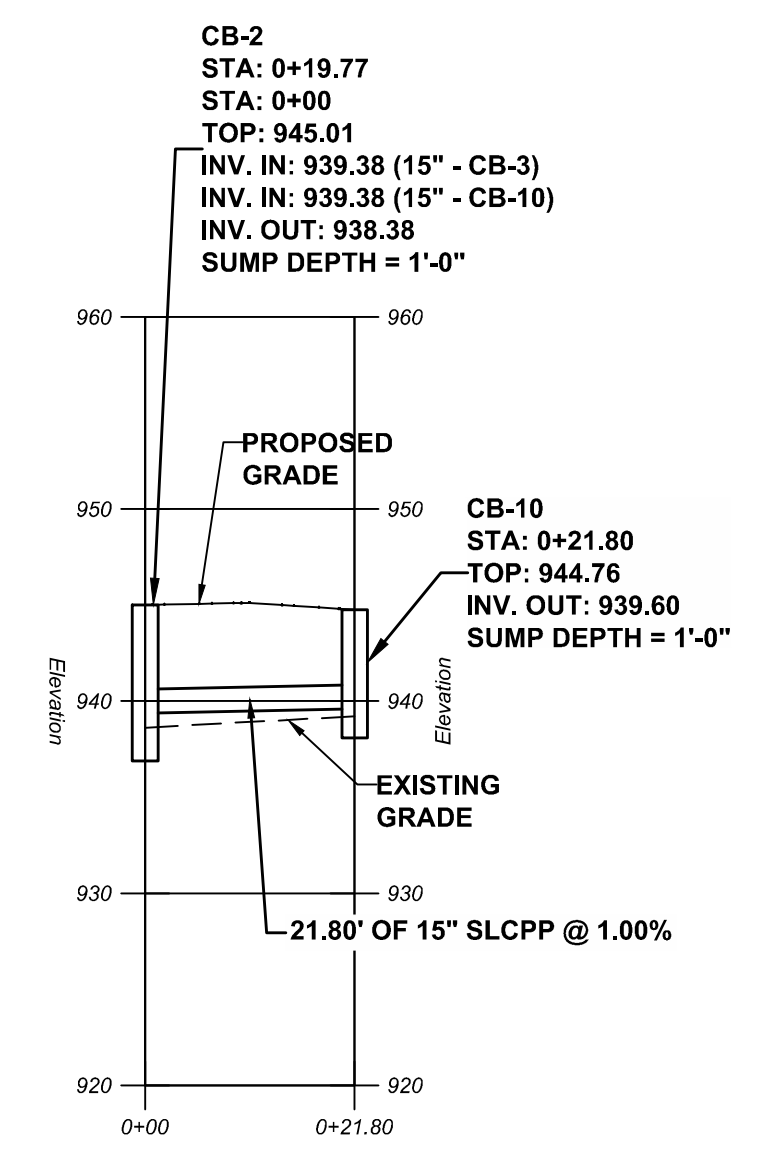
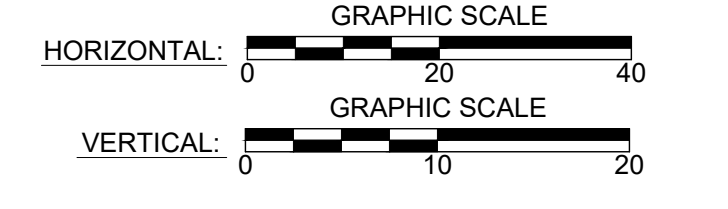
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11-15-24	LD-0	Initial LD Plan Set Created
06-02-25	LD-1	Building and appearance revision.
08-21-25	LD-2	Building revision & Sanitary Line revision per As-Built Feedback.
10-27-25	LD-3	Updated per Township comments.
01-29-26	LD-4	Updated per Township comments.



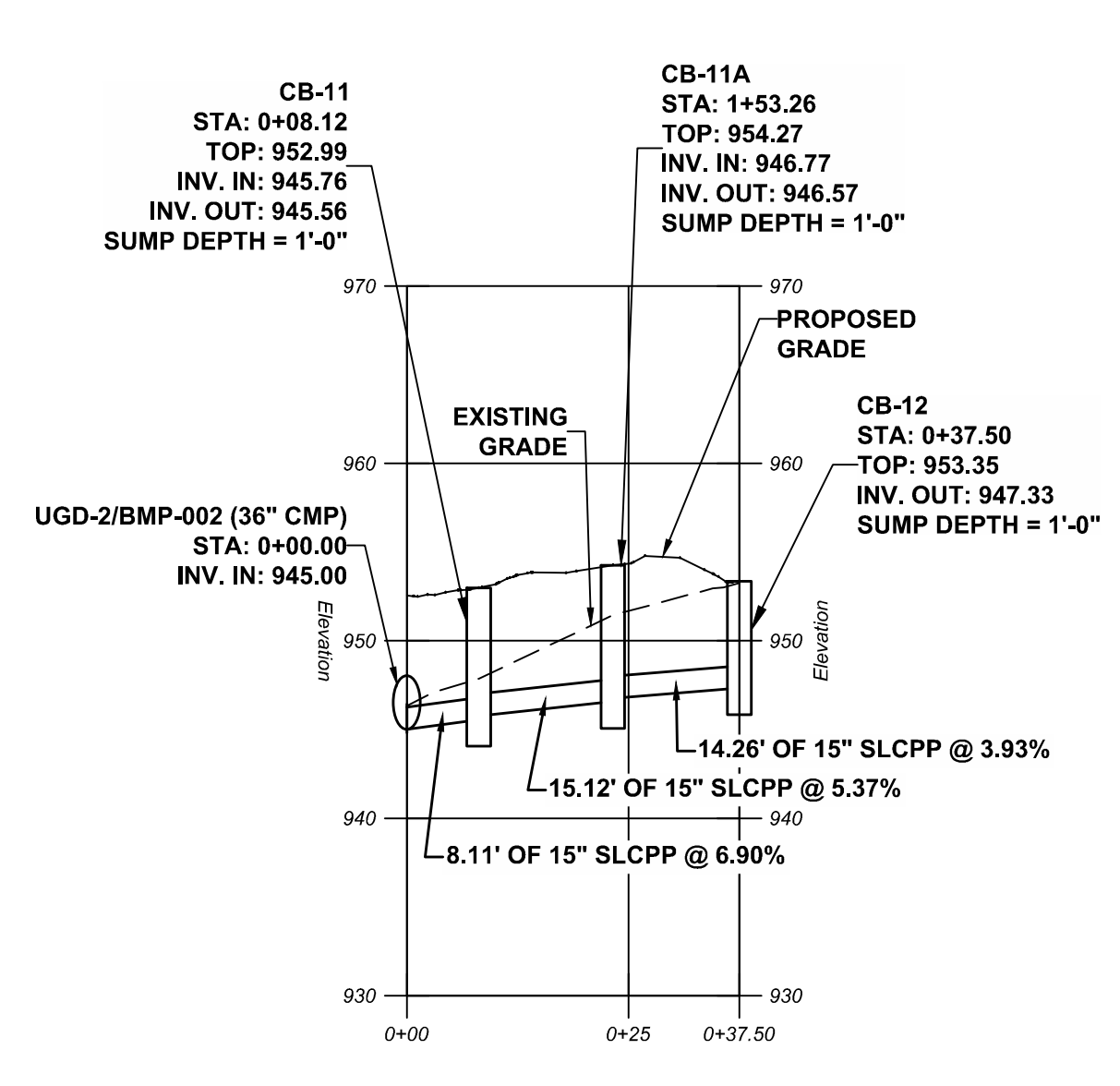
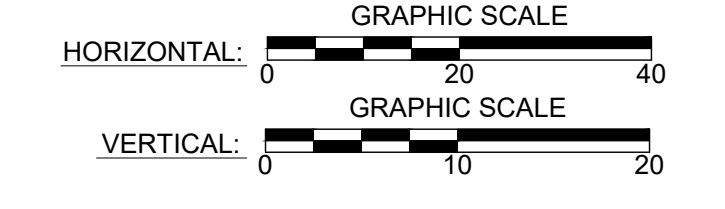
**STORMWATER PROFILE  
(MH #4 TO UGD-2)**



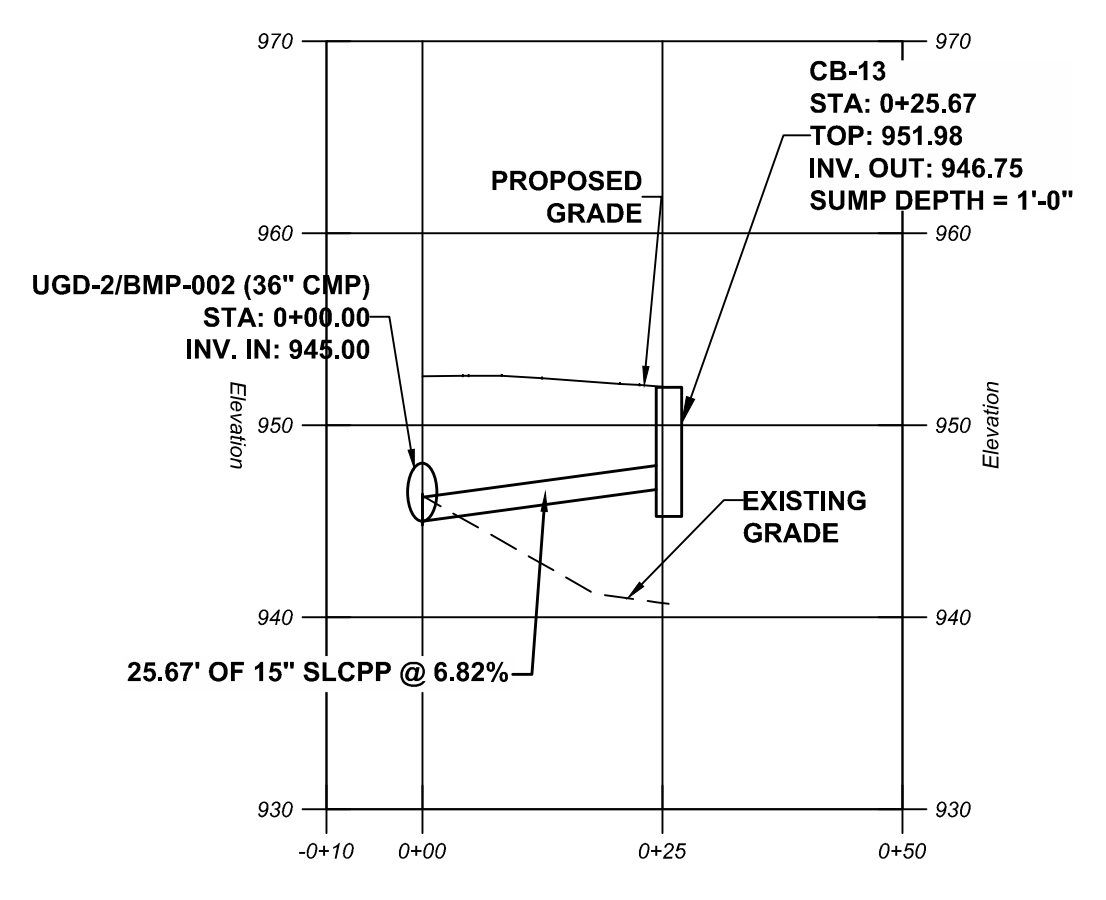
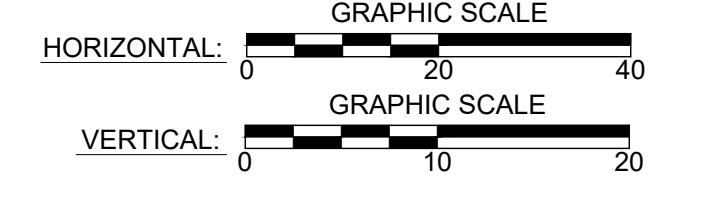
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(MH #5 TO HW#15)**



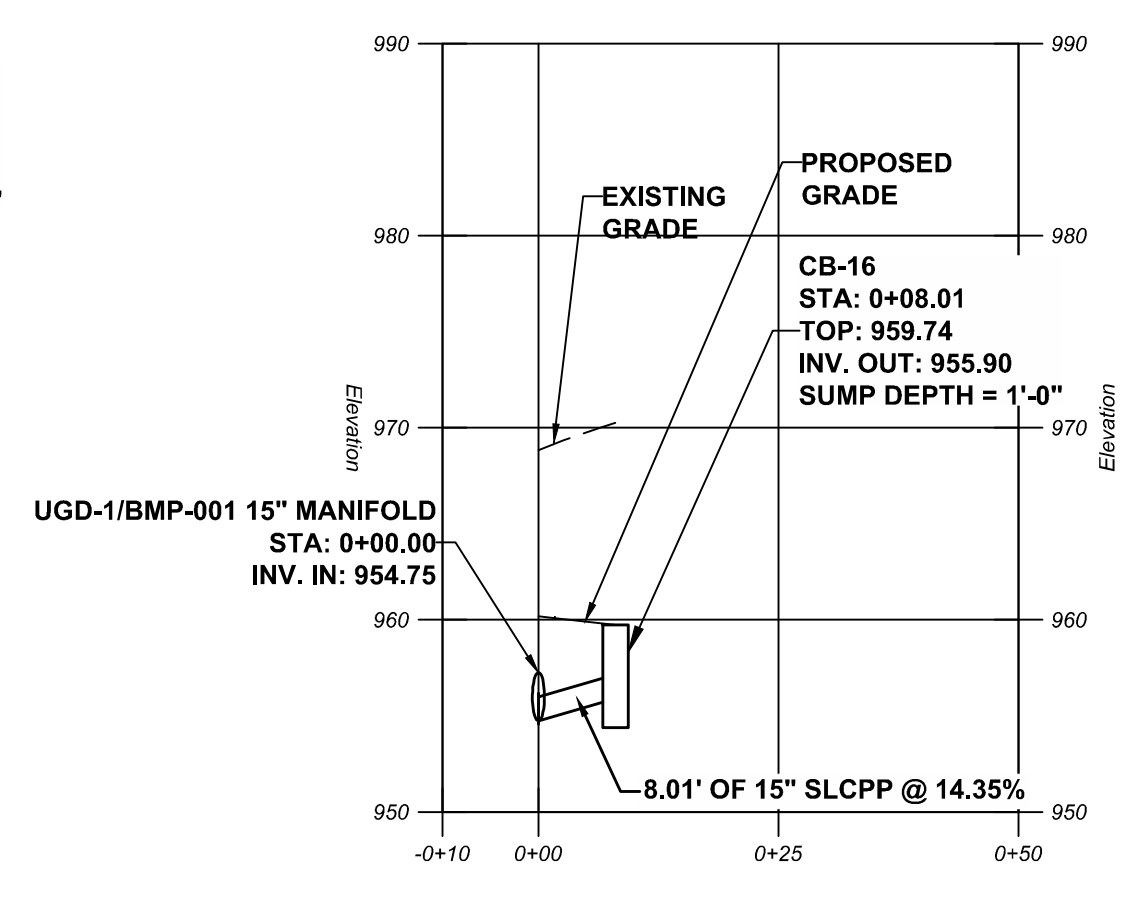
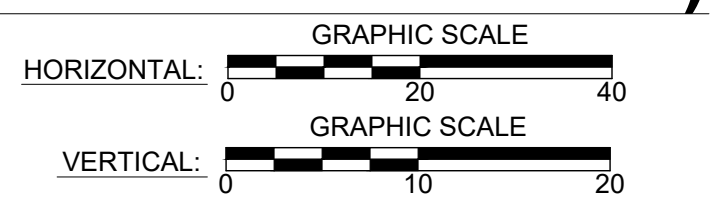
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(CB #2 TO CB#10)**



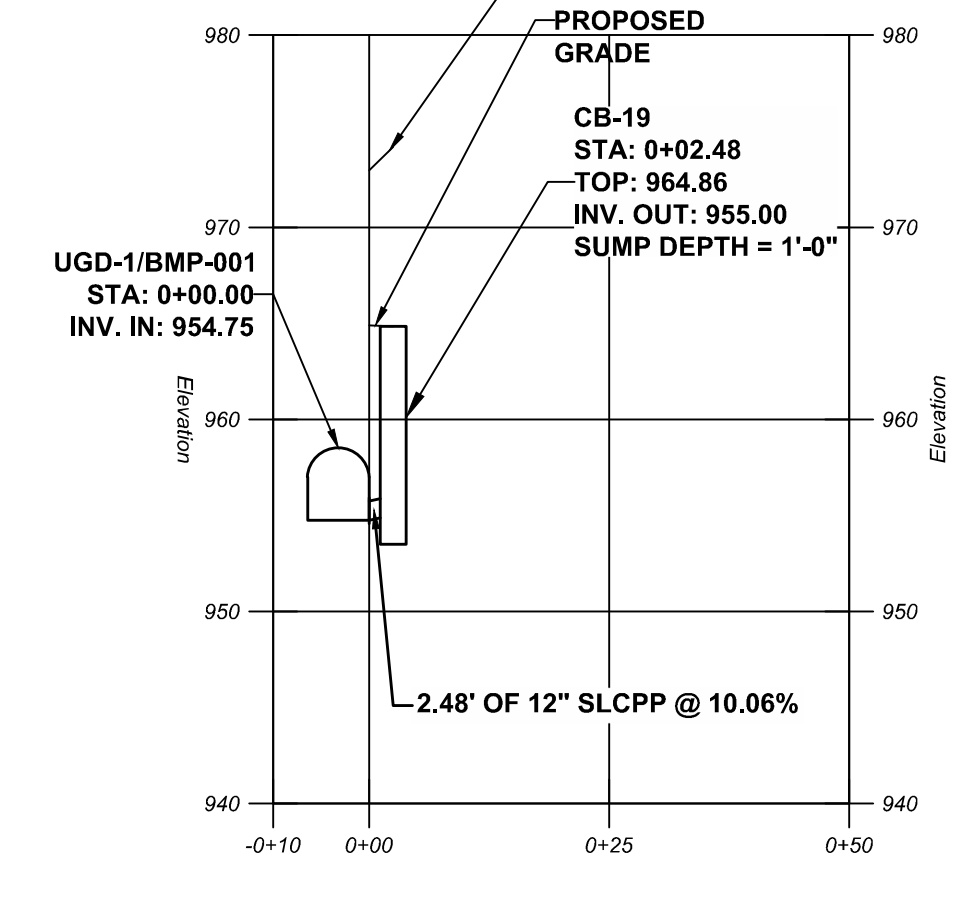
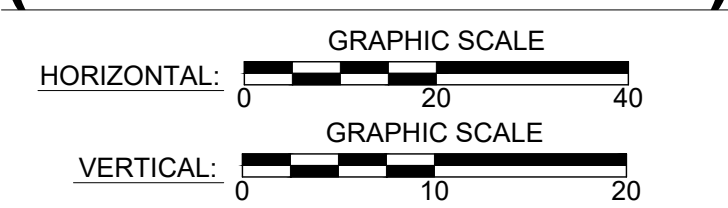
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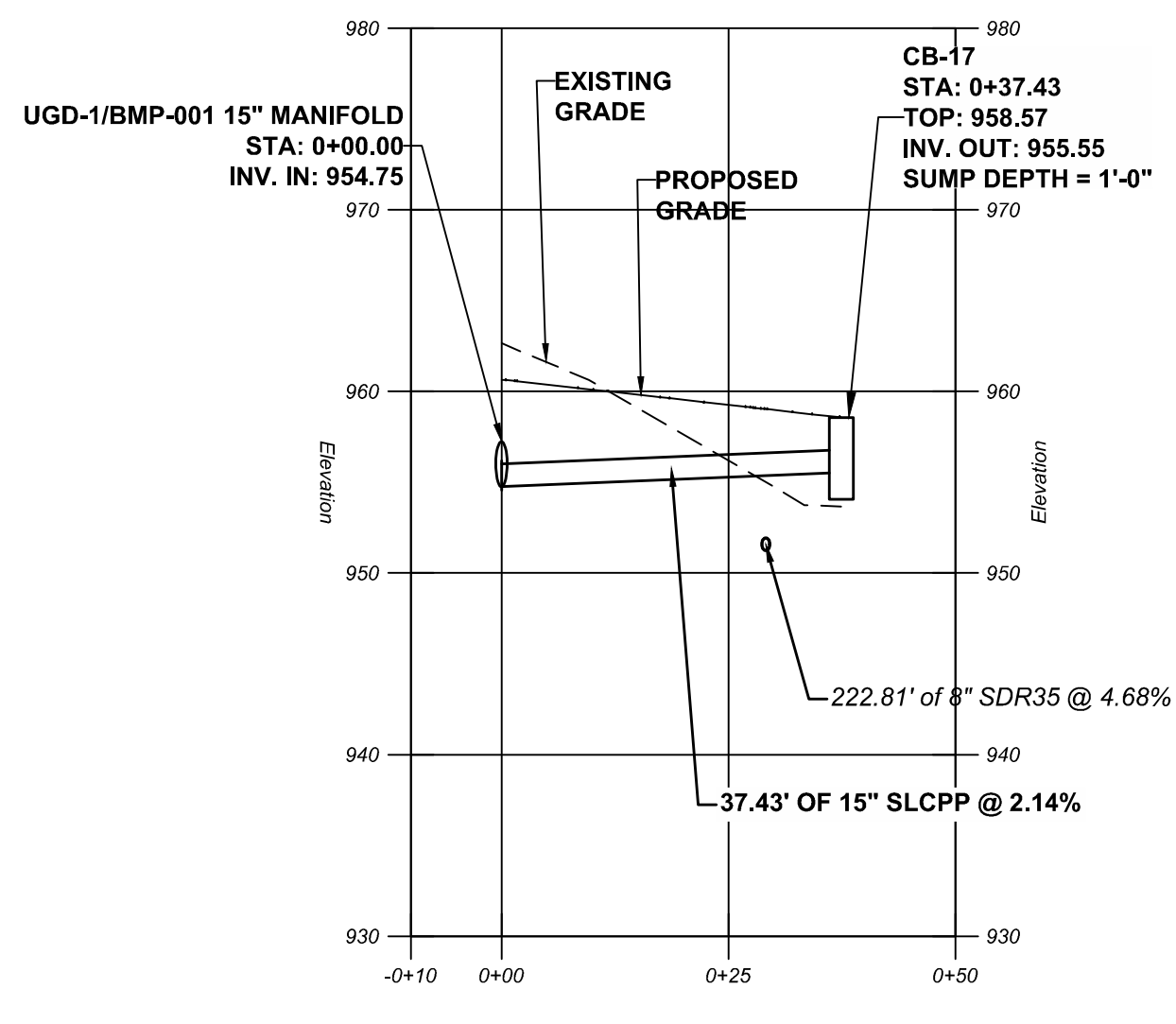
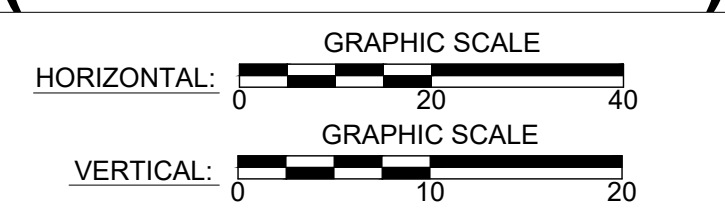
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(UGD-2 TO CB #13)**



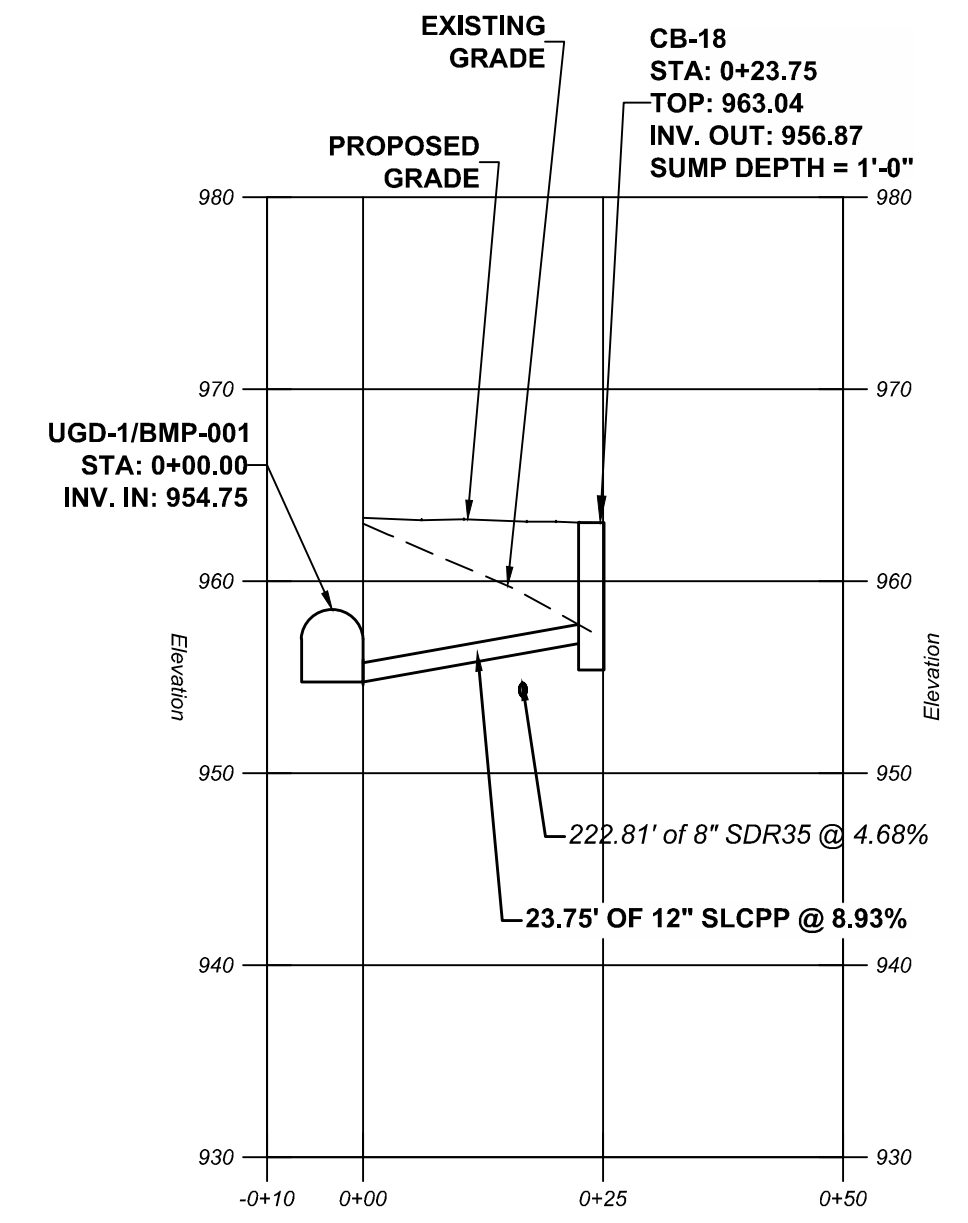
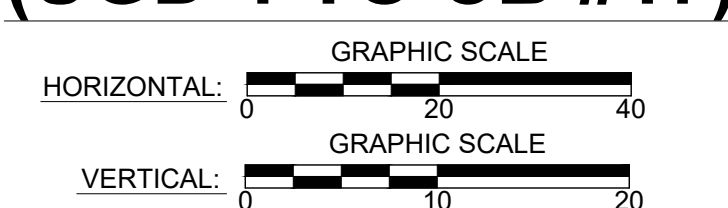
**STORMWATER PROFILE  
(UGD-1 TO CB #16)**



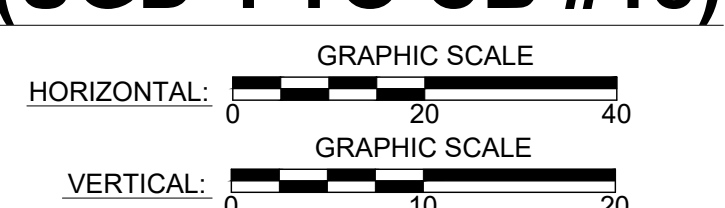
**STORMWATER PROFILE  
(UGD-1 TO CB #19)**



**STORMWATER PROFILE  
(UGD-1 TO CB #17)**



**STORMWATER PROFILE  
(UGD-1 TO CB #18)**



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- GENERAL NOTES:**
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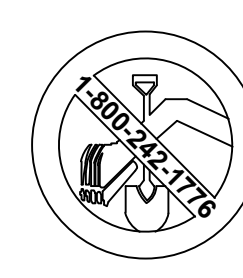
**3836 WASHINGTON ROAD, LLC  
STORMWATER PROFILES (SHEET 2 OF 2)**

TAX I.D. 540-011-02-01-0025-00  
PETERS TOWNSHIP  
WASHINGTON COUNTY, PA

PROJECT NO.:	23.103
DATE:	08/16/2024
SCALE:	AS SHOWN
DRAWN BY:	DBH
CHECKED BY:	S.O.



CALL BEFORE YOU DIG!  
PENNSYLVANIA LAW REQUIRES



2455 PARK AVENUE  
WASHINGTON, PA 15301-8149  
T: 724.503.4125

3 WORKING DAYS NOTICE FOR  
CONSTRUCTION PHASE & 10 WORKING  
DAYS IN DESIGN STAGE - STOP CALL  
Pennsylvania One Call System, Inc.  
1-800-242-1776  
SERIAL # 20252860987

DRAWING NO.:  
**23.103-LD08**  
SHEET NUMBER 8 OF 18

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**LANDSCAPING NOTES:**

- FURNISH AND INSTALL ALL PLANT MATERIAL IN CONFORMANCE WITH PETERS TOWNSHIP REQUIREMENTS, USDA STANDARDS FOR NURSERY STOCK, ANSI Z60.1, AND AICM. FURNISH AND INSTALL ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING ON ALL DRAWINGS.
- ADJUST TREE LOCATIONS AS NECESSARY BASED ON LOCATIONS OF EXISTING AND PROPOSED UTILITIES.
- AREAS NOT TO BE PAVED ARE TO BE SEEDED AND MULCHED WITH THE EXCEPTIONS OF AREAS IDENTIFIED AS PLANTING BEDS OR WITHIN A 3 FOOT RADIUS OF ANY PROPOSED PLANTING.
- PLACE 4-6 INCHES OF TOPSOIL ON ALL UNSURFACED AREAS UNLESS OTHERWISE NOTED. MULCH AND SEED UNSURFACED AREAS AND WATER UNTIL A HEALTHY STAND OF GRASS IS DEVELOPED.
- PLACE 12 INCHES OF TOPSOIL ON ALL PLANTING BEDS.
- PLACE 4 INCHES OF TOPSOIL ON ALL CUT OR FILL SLOPES AND SEED AS SPECIFIED ON THE SLOPE SEEDING CHART.
- PLACE 4 INCHES OF SHREDDED HARDWOOD BARK MULCH IN ALL PLANTING BEDS. PINE BARK OR GRAVEL BARK IS NOT ACCEPTABLE. PLACE MULCH ON ALL DISTURBED AREAS WITHIN LIMITS OF PLANTING BEDS, UNLESS OTHERWISE NOTED.
- PLACE WEED CONTROL FABRIC IN ALL MULCHED PLANTING BEDS AND COMPLETELY COVER WITH MULCH SO THAT THE FABRIC IS NOT EXPOSED.
- DO NOT COMMENCE PLANTING UNTIL ROUGH GRADING HAS BEEN COMPLETED.
- ALL PLANTS TO BE BALLED AND WRAPPED OR CONTAINER-GROWN. DO NOT USE CONTAINER-GROWN STOCK THAT IS ROOT-BOUND. CUT ROPES AT TOP OF ROOT BALLS TO BE CUT. REMOVE ONE-THIRD OF BURLAP FROM ROOT BALLS. COMPLETELY REMOVE ALL NON-BIODEGRADABLE MATERIAL FROM ROOT BALLS. REMOVE CONTAINER FROM CONTAINER-GROWN STOCK AND CUT ROOT BALL THROUGH THE SURFACE IN TWO VERTICAL LOCATIONS.
- TREES PLANTED ALONG SIDEWALKS AND PEDESTRIAN ACCESSES TO HAVE A SINGLE STRAIGHT TRUNK THAT DOES NOT FORK BELOW 6' ABOVE GRADE.
- ALL PLANTS TO HAVE THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANTS ORIGINAL NURSERY GRADE BEFORE DIGGING.
- ALL PLANTS TO BE STAKED AND PLUMB UNLESS OTHERWISE NOTED.
- DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING PLANTINGS.
- REMOVE BROKEN OR DEAD MATERIAL FROM PLANTS IMMEDIATELY AFTER PLANTING.
- SPRAY ALL PLANTS WITH ANTIDESSICANT WITHIN 24 HOURS OF PLANTING AND AT THE BEGINNING OF THEIR FIRST WINTER.
- THOROUGHLY WATER ALL PLANTS TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING.

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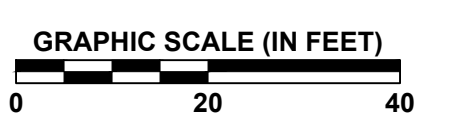
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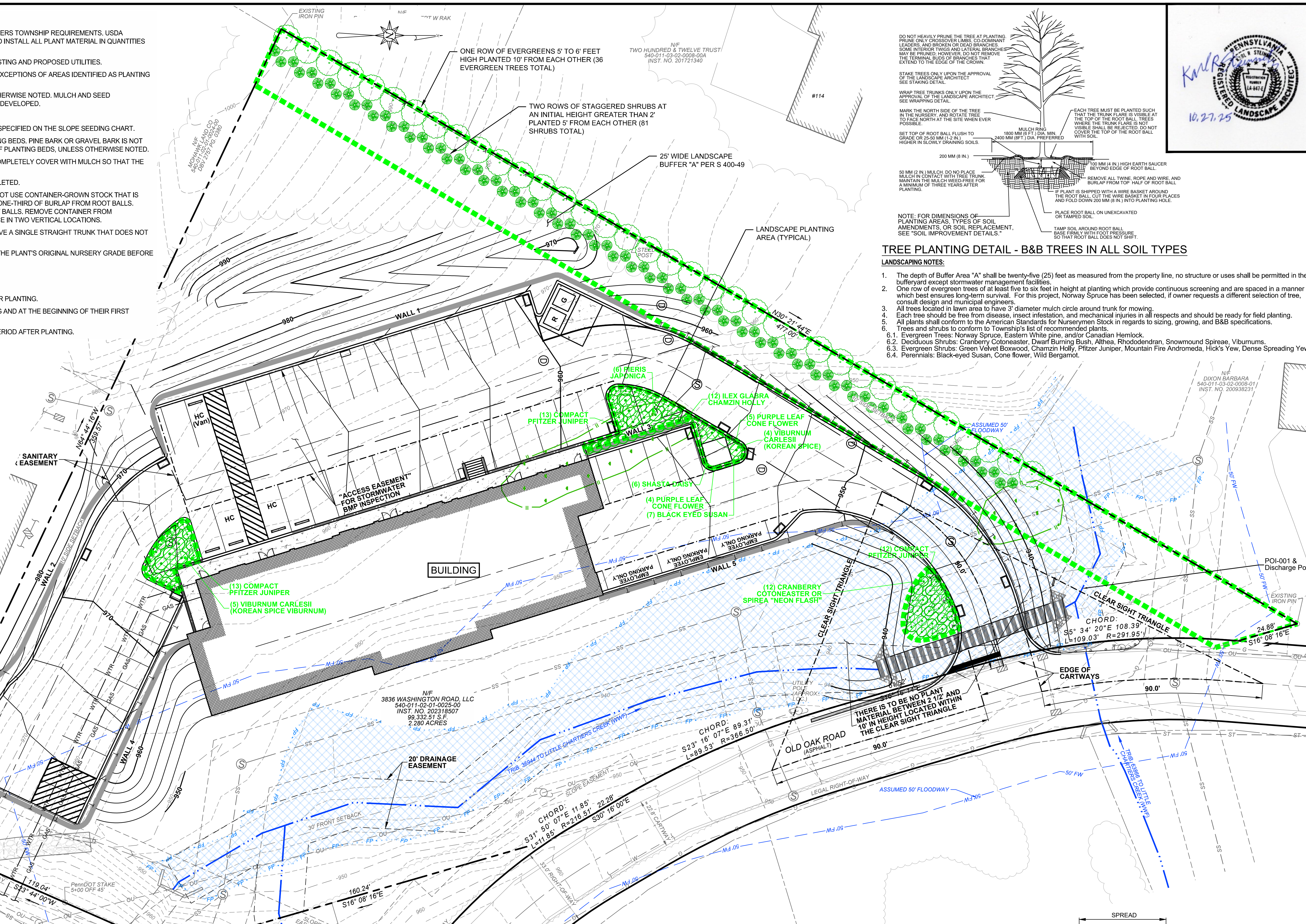
PROPOSED LEGEND	
	- PR. INDEX CONTOUR (10 FOOT INTERVAL)
	- PR. INTERMEDIATE CONTOUR (2 FOOT INTERVAL)
	- PR. BUILDING/STRUCTURE
	- PR. PAVEMENT W/ CENTERLINE
	- PR. CHANNEL OR DITCH
	- PR. SANITARY SEWER LINE W/ MANHOLE
	- PR. CONCRETE PAVEMENT
	- PR. GUIDE RAIL
	- PR. LANDSCAPE BUFFER
	- PR. LANDSCAPE BUFFER TREES
	- PR. STORM MANHOLE
	- PR. STORM INLET
	- PR. STORM ENDWALL

EXISTING LEGEND	
	- EX. INDEX CONTOUR (10 FOOT INTERVAL)
	- EX. INTERMEDIATE CONTOUR (2 FOOT INTERVAL)
	- EX. PROPERTY LINE
	- ADJACENT PROPERTY LINE
	- ZONING DISTRICT YARD SETBACKS
	- RIGHT-OF-WAY
	- EX. PAVEMENT W/ CENTERLINE
	- EASEMENT
	- EX. BUILDING/STRUCTURE
	- EX. SOIL MAP UNIT DELINEATION
	- EX. TREELINE

	- EX. SANITARY SEWER LINE W/MANHOLE
	- EX. OVERHEAD UTILITY LINE
	- EX. STORMWATER PIPES W/ INLETS
	- EX. GUIDE RAIL
	- EX. STREAM
	- EX. FLOODWAY
	- EX. WETLAND
	- EX. FLOODPLAIN
	- EX. WATERLINE & VALVE
	- EX. GASLINE & METER

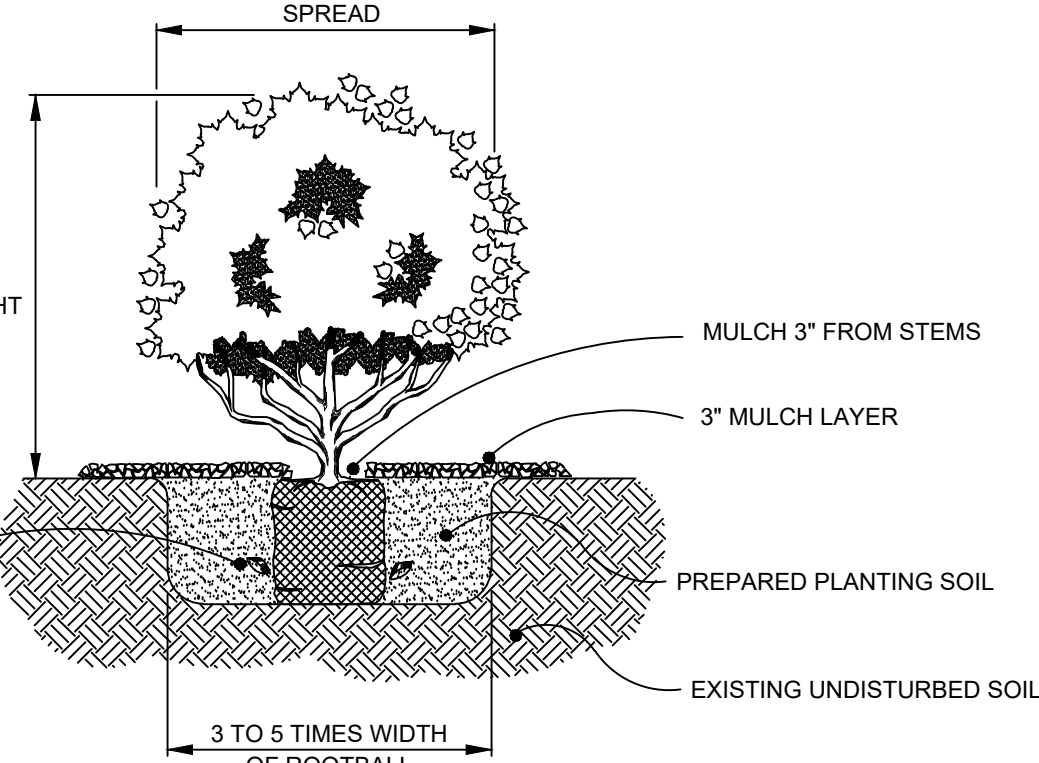
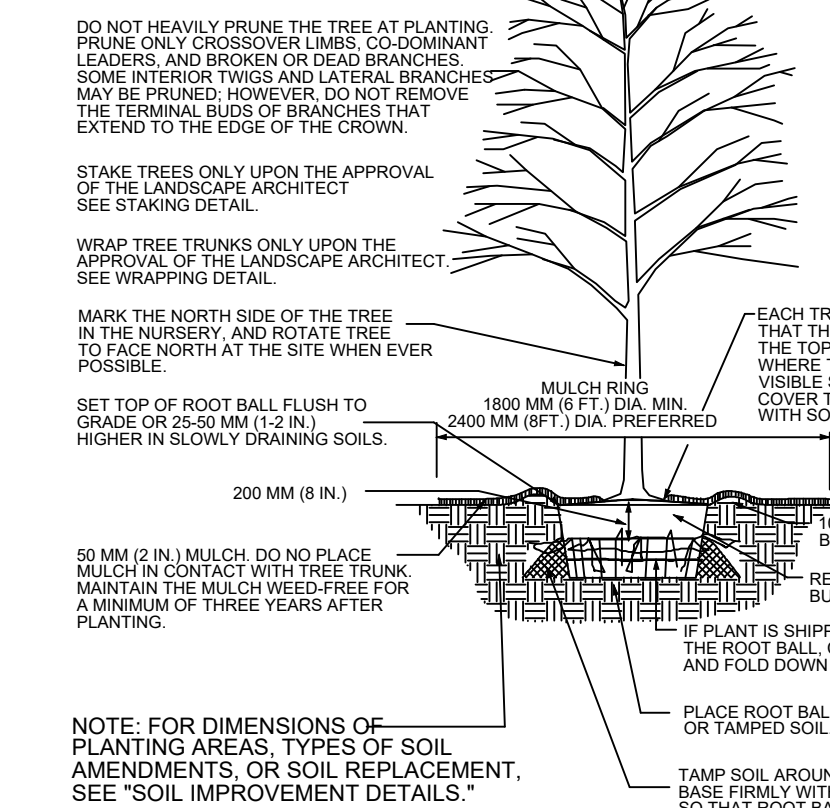


**LANDSCAPING PLAN**



**TREE PLANTING DETAIL - B&B TREES IN ALL SOIL TYPES**

- LANDSCAPING NOTES:**
- The depth of Buffer Area "A" shall be twenty-five (25) feet as measured from the property line, no structure or uses shall be permitted in the buffer area except stormwater management facilities.
  - One row of evergreen trees of at least five to six feet in height at planting which provide continuous screening and are spaced in a manner which best ensures long-term survival. For this project, Norway Spruce has been selected, if owner requests a different selection of tree, consult design and municipal engineers.
  - All trees located in lawn area to have 3' diameter mulch circle around trunk for mowing.
  - All plants shall conform to the American Standards for Nurserymen Stock in regards to sizing, growing, and B&B specifications.
  - Trees and shrubs to conform to Township's list of recommended plants.
  - Evergreen Trees: Norway Spruce, Eastern White pine, and/or Canadian Hemlock.
  - Deciduous Shrubs: Cranberry Cotoneaster, Dwarf Burning Bush, Althea, Rhododendron, Snowmound Spirea, Viburnums.
  - Evergreen Shrubs: Green Velvet Boxwood, Chazmin Holly, Pfitzer Juniper, Mountain Fire Andromeda, Hick's Yew, Dense Spreading Yew.
  - Perennials: Black-eyed Susan, Cone flower, Wild Bergamot.



**CALL BEFORE YOU DIG!**  
PENNSYLVANIA LAW REQUIRES  
3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE & 10 WORKING DAYS IN DESIGN STAGE - STOP CALL  
Pennsylvania One Call System, Inc.  
**1-800-242-1776**  
SERIAL # 20252860987

10.27.25

ENGINEER  
SEAN P. O'DELL

REVISION HISTORY	
DATE	DESCRIPTION
11-15-24	Initial LD Plan Set Created
06-02-25	Building and appearance revision
08-21-25	Building revision & Sanitary Line revision per As-Built Filemark
10-27-25	Updated per Township comments
01-29-26	Updated per Township comments

**3836 WASHINGTON ROAD, LLC**  
**LANDSCAPING PLAN**

TAX I.D. 540-011-02-01-0025-00  
PETERS TOWNSHIP  
WASHINGTON COUNTY, PA

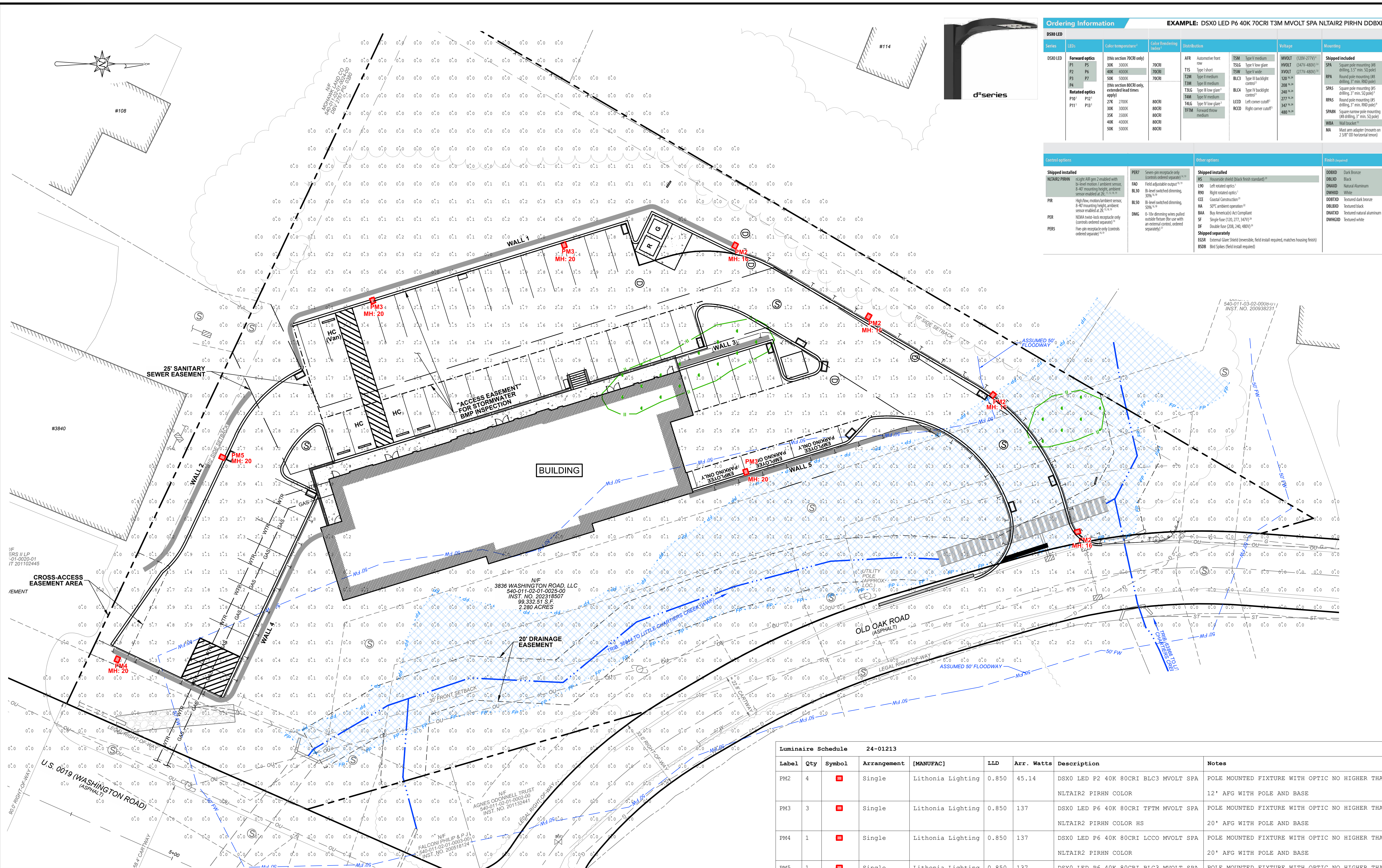
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DATE: 08/16/2024  
SCALE: 1" = 20'  
DRAWN BY: DBH  
CHECKED BY: S.O.

2455 PARK AVENUE  
WASHINGTON, PA 15301-8149  
T: 724.503.4125

DRAWING NO.: **23.103-LD09**  
SHEET NUMBER 9 OF 18

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 LAYOUT: LD10-LIGHT



Ordering Information		EXAMPLE: DSXO LED P6 40K 80CRI T3M MVOLT SPA NLTAIR2 PIRHN DDBXD				
DSXO LED Series	LEDs	Color Temperature	Color Rendering Index	Distribution	Voltage	Mounting
DSXO LED	Forward optics P1 P5 P2 P6 P3 P7 P4	(this section 70CRI only) 30K 3000K 40K 4000K 50K 5000K	70CRI	AFR Automotive front row T15 Type I short T3M Type I medium T3LG Type II low glare T4M Type II medium T4LG Type III low glare T5M Type III medium T5TM Forward throw medium	TSM Type V medium TSLG Type V low glare T5W Type V wide BLC3 Type III backlight control BLC4 Type IV backlight control LCCO Left corner cutoff RCCO Right corner cutoff	MVOLT (120V-277V) MVOLT (347V-480V) 120 VAC 208 VAC 240 VAC 277 VAC 347 VAC 480 VAC
DSXO LED	Rotated optics P10' P12' P11' P13'	(this section 80CRI only, extended lead times apply) 27K 2700K 30K 3000K 35K 3500K 40K 4000K 50K 5000K	80CRI			
Control options		Other options		Finish options		
Shipped installed	NLTAIR2 PIRHN	PER7 Seven-pin receptacle only (controls ordered separately)** FAO Field adjustable output** BL30 8-level switched dimming, 30%*** BL50 8-level switched dimming, 50%*** DMG 0-10v dimming wires pulled outside fixture for use with an external control (controls ordered separately)**	Shipped installed	PER5	PER6	
PER8 High-flow, motion/ambient sensor, 8-40' mounting height, ambient sensor enabled at 26.1%***	PER9 NEMA 4x6-lock receptacle only (controls ordered separately)**	PER5 Five-pin receptacle only (controls ordered separately)**	PER5	PER6	PER7	
PER10	PER11	PER12	PER13	PER14	PER15	

Luminaire Schedule		24-01213						
Label	Qty	Symbol	Arrangement	[MANUFAC]	LLD	Arr. Watts	Description	Notes
PM2	4	■	Single	Lithonia Lighting	0.850	45.14	DSXO LED P2 40K 80CRI BLC3 MVOLT SPA NLTAIR2 PIRHN COLOR	POLE MOUNTED FIXTURE WITH OPTIC NO HIGHER THAN 12' AFG WITH POLE AND BASE
PM3	3	■	Single	Lithonia Lighting	0.850	137	DSXO LED P6 40K 80CRI T3TM MVOLT SPA NLTAIR2 PIRHN COLOR HS	POLE MOUNTED FIXTURE WITH OPTIC NO HIGHER THAN 20' AFG WITH POLE AND BASE
PM4	1	■	Single	Lithonia Lighting	0.850	137	DSXO LED P6 40K 80CRI LCCO MVOLT SPA NLTAIR2 PIRHN COLOR	POLE MOUNTED FIXTURE WITH OPTIC NO HIGHER THAN 20' AFG WITH POLE AND BASE
PM5	1	■	Single	Lithonia Lighting	0.850	137	DSXO LED P6 40K 80CRI BLC3 MVOLT SPA NLTAIR2 PIRHN COLOR	POLE MOUNTED FIXTURE WITH OPTIC NO HIGHER THAN 20' AFG WITH POLE AND BASE

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
OVER ALL PROPERTY	0.46	5.9	0.0	N.A.	N.A.
PROPERTY LINE	0.02	1.0	0.0	N.A.	N.A.
LOWER PARKING	1.76	3.5	0.5	3.52	7.00
ROAD	1.69	2.7	0.7	2.41	3.86
UPPER PARKING	1.94	5.9	0.6	3.23	9.83

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**PLAN SPECIFIC NOTES:**

- THIS PHOTOMETRIC PLAN DRAWING IS PROVIDED AS A CONVENIENT REFERENCE AT THE REQUEST OF PETERS TOWNSHIP. THE DESIGN IS PROVIDED BY LAFACE & MCGOVERN ASSOC, INC. AND IS BEING SHOWN ON THIS DRAWING SET FOR CONVENIENCE ONLY. HARSHMAN CE GROUP, LLC IS NOT RESPONSIBLE FOR THE DESIGN.
- SUBJECT TO BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE CONTRACTOR AND/OR ARCHITECT MUST DETERMINE THE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.
- THIS LIGHTING PLAN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH THE ILLUMINATING ENGINEERING SOCIETY (IES) APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRES MAY VARY DUE TO CHANGES IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMP/SLED'S AND OTHER VARIABLE FIELD CONDITIONS. CALCULATIONS DO NOT INCLUDE OBSTRUCTIONS SUCH AS BUILDINGS, CURBS, LANDSCAPING, OR ANY OTHER ARCHITECTURAL ELEMENTS UNLESS NOTED. FIXTURE NOMENCLATURE NOTED DOES NOT INCLUDE MOUNTING HARDWARE OR POLES. THIS DRAWING IS FOR PHOTOMETRIC EVALUATION PURPOSES ONLY AND SHOULD NOT BE USED AS A CONSTRUCTION DOCUMENT OR AS A FINAL DOCUMENT FOR ORDERING PRODUCT.
- ALL LIGHT LEVELS ARE AT GRADE.
- LUMEN OUTPUT IS BASED ON ANTICIPATED LUMEN OUTPUT AT HALF OF THE RATED LIFE OF THE LEDS.
- MOUNTING HEIGHT SHOWN PER LOCATION IS FROM GRADE TO FIXTURE APERTURE.
- LIGHT LEVELS ARE CALCULATED BASED ON DIRECT FIXTURE CONTRIBUTION ONLY. WE ARE NOT RESPONSIBLE FOR REFLECTED LIGHT.
- RESULTS ARE BASED ON INFORMATION PROVIDED TO L & M. CHANGES TO LOCATION, FIXTURE, WATTAGE WILL EFFECT FINAL RESULTS.



REVISION HISTORY	
DATE	DESCRIPTION
11-15-24	Initial LD Plan Set Created
06-02-25	Building and appearance revision.
08-21-25	Building revision & Sanitary Line revision per As-Built Footprint.
10-27-25	Updated per Township comments.
01-29-26	Updated per Township comments.

**3836 WASHINGTON ROAD, LLC**  
**LIGHTING PLAN**  
 PROJECT NO.: 23.103  
 DATE: 08/16/2024  
 SCALE: 1" = 20'  
 DRAWN BY: DBH  
 CHECKED BY: S.O.  
 TAX I.D. 540-011-02-01-0025-00  
 PETERS TOWNSHIP  
 WASHINGTON COUNTY, PA

**harshman**  
**CE GROUP, LLC**  
 2455 PARK AVENUE  
 WASHINGTON, PA 15301-8149  
 T: 724.503.4125  
 CALL BEFORE YOU DIG!  
 PENNSYLVANIA LAW REQUIRES  
 3 WORKING DAYS NOTICE FOR  
 CONSTRUCTION PHASE & 10 WORKING  
 DAYS IN DESIGN STAGE - STOP CALL  
 Pennsylvania One Call System, Inc.  
**1-800-242-1776**  
 SERIAL # 20252860987

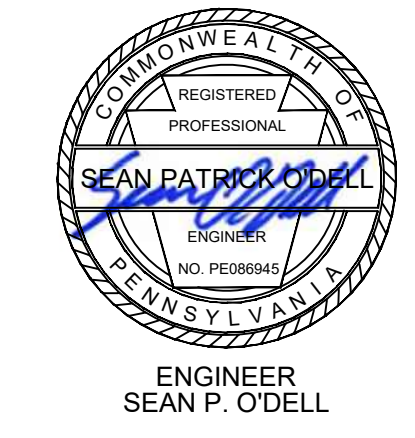
**23.103-LD10**  
 SHEET NUMBER 10 OF 18

**GENERAL NOTES:**

1. PLAN MERIDIAN BASED ON STATE PLANE, NAD83, PA SOUTH, NAVD88, CONUS12A, US SURVEY FEET.
2. THE UNDERGROUND UTILITIES SHOWN HEREON HAVE NOT BEEN PHYSICALLY LOCATED BY THE SURVEYOR, HOWEVER, THE INFORMATION WAS OBTAINED FROM EXISTING PLANS AND SURFACE UTILITIES. HARSHMAN CE GROUP, LLC MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE PA ONE CALL MAY BE IGNORED BY THE UTILITY OR RESULT IN AN INCOMPLETE RESPONSE THEREFORE HARSHMAN CE GROUP, LLC DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE A COMPLETE AND FULL REPRESENTATION OF EXISTING UTILITIES IN THE SURVEY AREA, OR ARE SHOWN IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE SHOWN AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.
3. SUBJECT TO ALL EASEMENTS, SERVITUDES, RIGHTS-OF-WAY, LEASES, EXCEPTIONS, RESERVATIONS, RESTRICTIONS, ETC. IF ANY, AS SAME MAY APPEAR IN INSTRUMENTS OF RECORD.
4. EXISTING CONDITION FEATURES SHOWN ARE A COMPILATION OF FIELD LOCATIONS AND TRACINGS OF ONLINE IMAGERY AND GIS MAPPING. THE SURVEY DOES NOT WARRANT THE ACCURACY OF ALL THE EXISTING FEATURES SHOWN ON THE PLAN.
5. TOPOGRAPHY FEATURES SHOWN ARE A COMPILATION OF FIELD LOCATIONS AND TRACINGS OF ONLINE IMAGERY AND GIS MAPPING. THE SURVEY DOES NOT WARRANT THE ACCURACY OF ALL THE EXISTING FEATURES SHOWN ON THE PLAN.
6. 100% COMPACTED AGGREGATE BACKFILL SHALL BE USED UNDER IMPROVED SURFACES SUCH AS ROAD SAND SIDEWALKS.

**NOTE:**

IN ACCORDANCE WITH THE INTERNATIONAL PLUMBING CODE, SECTION 715, WHERE THE FLOOD LEVEL RIMS OF PLUMBING DRAINAGE FIXTURES (DENOTED BY THE LOWEST FINISHED FLOOR ELEVATION) ARE BELOW THE ELEVATION OF THE NEXT UPSTREAM MANHOLE, BACKWATER VALVES ARE REQUIRED. SANITARY BUILDING SEWER LATERALS FOR BUILDINGS CONSTRUCTED ON THE FOLLOWING LOTS (SPECIFY LOT NUMBERS HERE) SHALL BE FURNISHED WITH BACKWATER VALVES AT THE TIME SUCH SANITARY BUILDING SEWER LATERALS ARE CONNECTED TO THE SANITARY COLLECTION SEWERS SERVING ALL LOTS SPECIFIED. THE INITIAL PURCHASERS OF PROPERTY, AND THEIR HEIRS, SUCCESSORS AND ASSIGNS SHALL TAKE NOTICE THAT SUCH BACKWATER VALVES SHALL BE INSTALLED AT THE TIME OF MALFUNCTION SO AS TO ALLOW SEWAGE TO BACKFLOW INTO PORTIONS OF THE BUILDINGS. INSTALLATION, MAINTENANCE, OPERATION AND INSPECTION OF SUCH BACKWATER VALVES SHALL BE THE SOLE RESPONSIBILITY OF THE INITIAL PURCHASERS OF THE REQUIRED LOTS, AND THEIR HEIRS, SUCCESSORS, AND ASSIGNS.



**REVISION HISTORY**

DATE	NO.	DESCRIPTION
10-24-2024	1	UPDATED PER PTSA REVIEW LETTER Initial LD Plan Set Created
11-15-24	LD-0	
11-19-24	2	UPDATED PER PTSA REVIEW LETTER PTSA Final Approval
12-03-24	LD-1	Building and appearance revision.
06-02-25	LD-1	Building and appearance revision.
01-29-26	LD-4	Updated per Township comments.

**3836 WASHINGTON ROAD, LLC  
SANITARY SEWER PLAN**

TAX I.D. 540-011-02-01-0025-00  
PETERS TOWNSHIP  
WASHINGTON COUNTY, PA

PROJECT NO.: 23.103  
DATE: 08/16/2024  
SCALE: 1" = 20'  
DRAWN BY: DBH  
CHECKED BY: S.O.

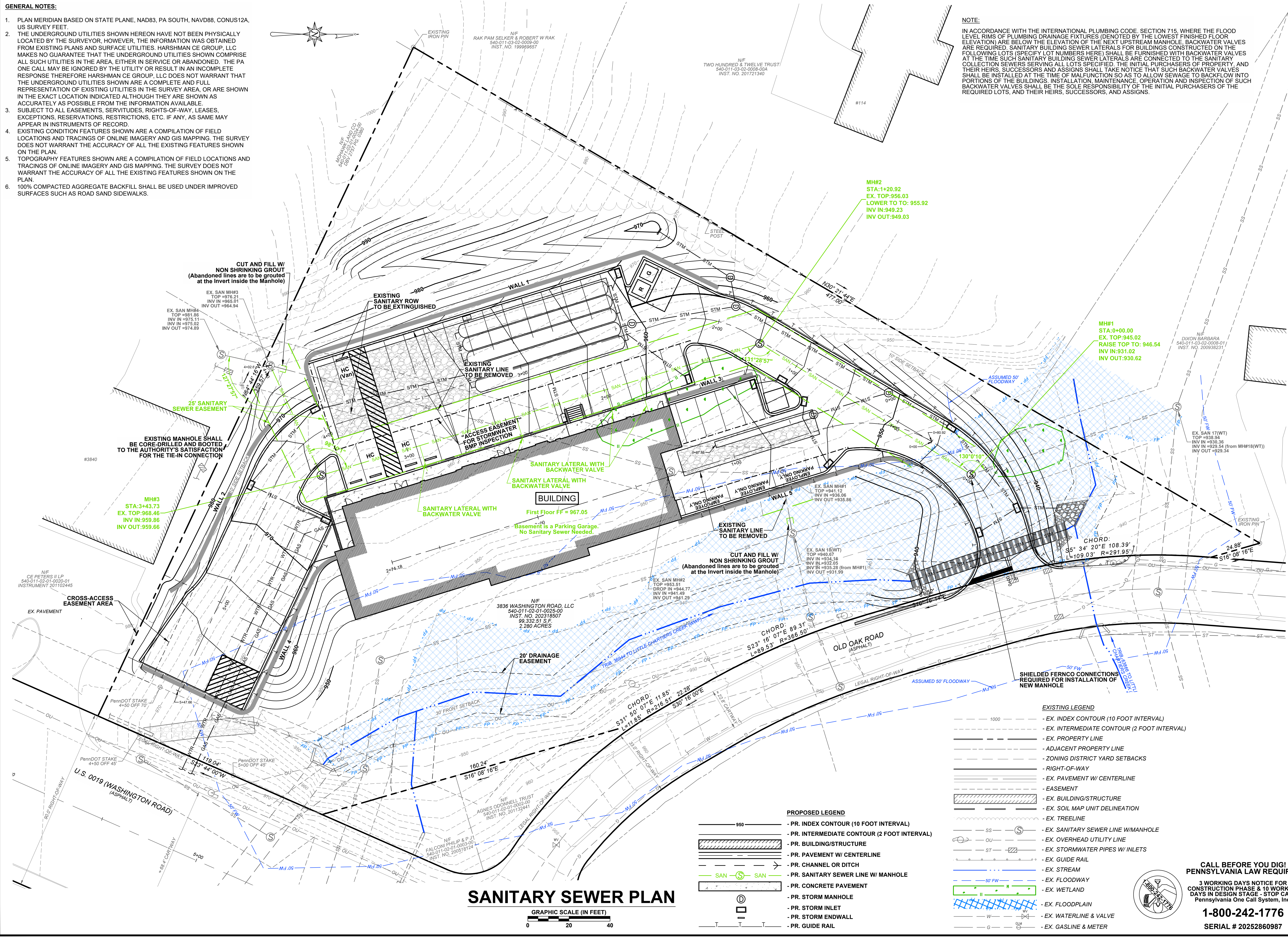
**harshman  
CE GROUP, LLC**

2455 PARK AVENUE  
WASHINGTON, PA 15301-8149  
T: 724.503.4125

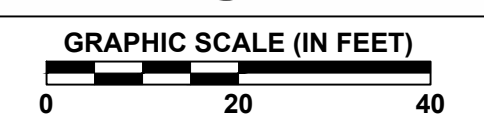
CALL BEFORE YOU DIG!  
PENNSYLVANIA LAW REQUIRES  
3 WORKING DAYS NOTICE FOR  
CONSTRUCTION PHASE & 10 WORKING  
DAYS IN DESIGN STAGE - STOP CALL  
Pennsylvania One Call System, Inc.

**1-800-242-1776**  
SERIAL # 20252860987

DRAWING NO.: **23.103-LD11**  
SHEET NUMBER 11 OF 18



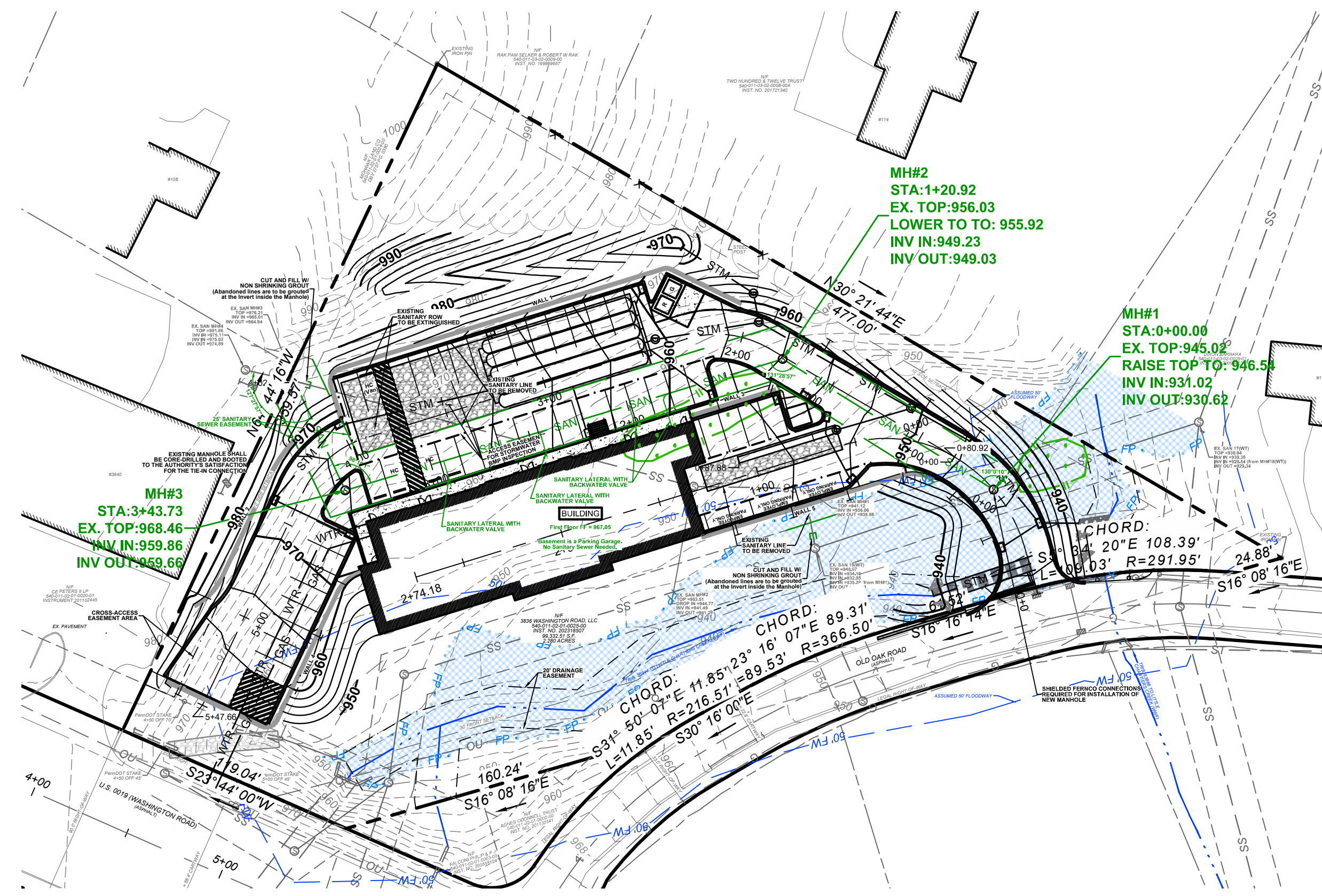
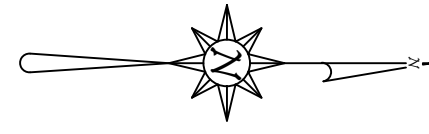
**SANITARY SEWER PLAN**



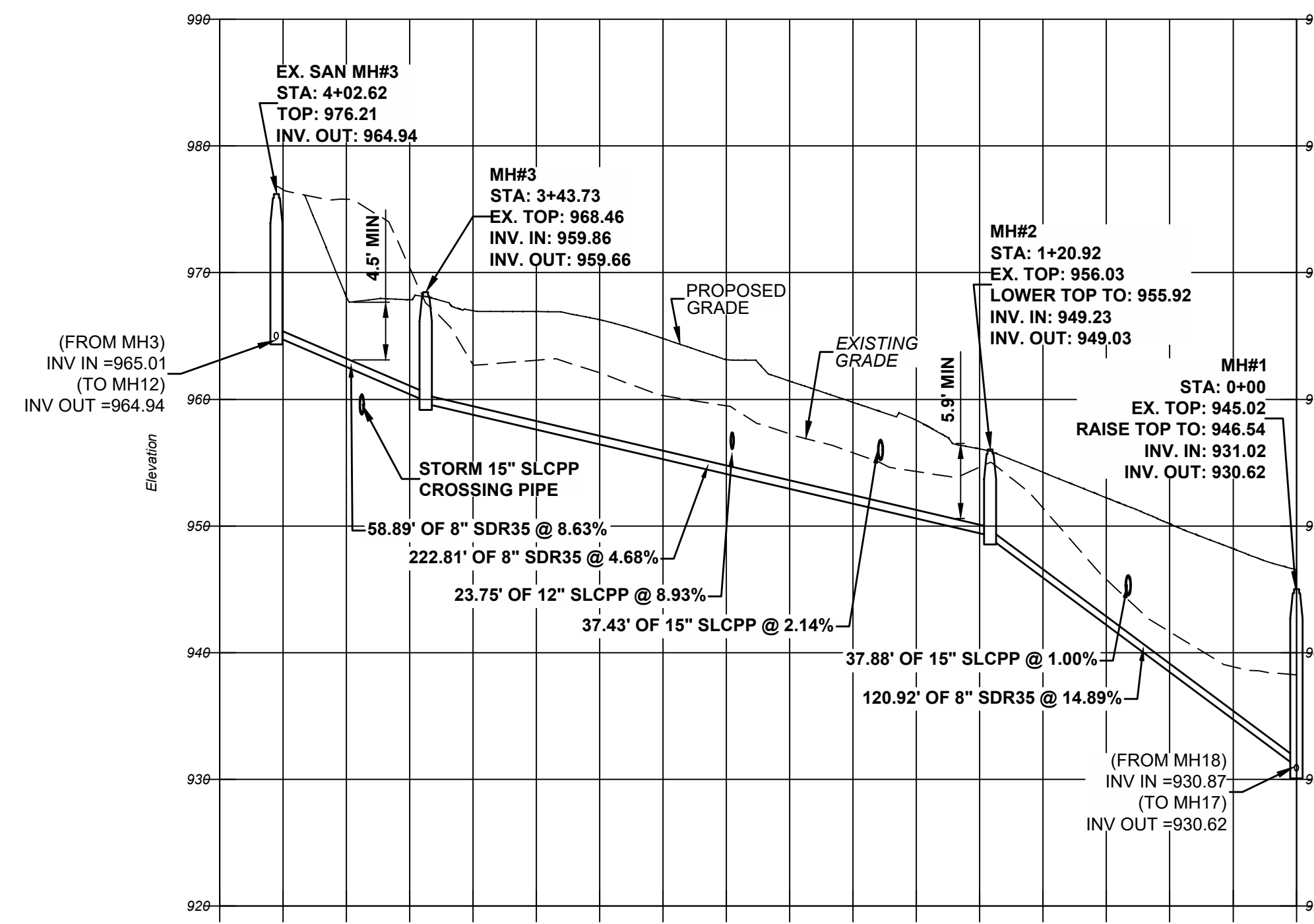
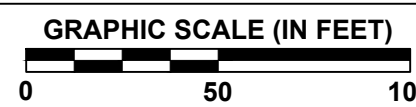
- PROPOSED LEGEND**
- PR. INDEX CONTOUR (10 FOOT INTERVAL)
  - PR. INTERMEDIATE CONTOUR (2 FOOT INTERVAL)
  - PR. BUILDING/STRUCTURE
  - PR. PAVEMENT W/ CENTERLINE
  - PR. CHANNEL OR DITCH
  - PR. SANITARY SEWER LINE W/ MANHOLE
  - PR. CONCRETE PAVEMENT
  - PR. STORM MANHOLE
  - PR. STORM INLET
  - PR. STORM ENDWALL
  - PR. GUIDE RAIL

- EXISTING LEGEND**
- EX. INDEX CONTOUR (10 FOOT INTERVAL)
  - EX. INTERMEDIATE CONTOUR (2 FOOT INTERVAL)
  - EX. PROPERTY LINE
  - ADJACENT PROPERTY LINE
  - ZONING DISTRICT YARD SETBACKS
  - RIGHT-OF-WAY
  - EX. PAVEMENT W/ CENTERLINE
  - EASEMENT
  - EX. BUILDING/STRUCTURE
  - EX. SOIL MAP UNIT DELINEATION
  - EX. TREELINE
  - EX. SANITARY SEWER LINE W/MANHOLE
  - EX. OVERHEAD UTILITY LINE
  - EX. STORMWATER PIPES W/ INLETS
  - EX. GUIDE RAIL
  - EX. STREAM
  - EX. FLOODWAY
  - EX. WETLAND
  - EX. FLOODPLAIN
  - EX. WATERLINE & VALVE
  - EX. GASLINE & METER

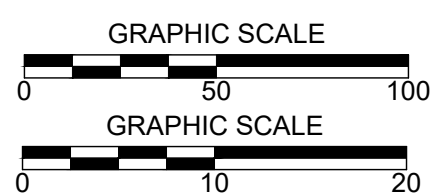
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 LAYOUT: LD1-SEWER  
 PLOT DATE: 1/29/2026 11:14:38 AM



### SANITARY SEWER PLAN



### SANITARY SEWER PROFILE



#### NOTE:

IN ACCORDANCE WITH THE INTERNATIONAL PLUMBING CODE, SECTION 715, WHERE THE FLOOD LEVEL RIMS OF PLUMBING DRAINAGE FIXTURES (DENOTED BY THE LOWEST FINISHED FLOOR ELEVATION) ARE BELOW THE ELEVATION OF THE NEXT UPSTREAM MANHOLE, BACKWATER VALVES ARE REQUIRED. SANITARY BUILDING SEWER LATERALS FOR BUILDINGS CONSTRUCTED ON THE FOLLOWING LOTS (SPECIFY LOT NUMBERS HERE) SHALL BE FURNISHED WITH BACKWATER VALVES AT THE TIME SUCH SANITARY BUILDING SEWER LATERALS ARE CONNECTED TO THE SANITARY COLLECTION SEWERS SERVING ALL LOTS SPECIFIED. THE INITIAL PURCHASERS OF PROPERTY, AND THEIR HEIRS, SUCCESSORS AND ASSIGNS SHALL TAKE NOTICE THAT SUCH BACKWATER VALVES SHALL BE INSTALLED AT THE TIME OF MALFUNCTION SO AS TO ALLOW SEWAGE TO BACKFLOW INTO PORTIONS OF THE BUILDINGS. INSTALLATION, MAINTENANCE, OPERATION AND INSPECTION OF SUCH BACKWATER VALVES SHALL BE THE SOLE RESPONSIBILITY OF THE INITIAL PURCHASERS OF THE REQUIRED LOTS, AND THEIR HEIRS, SUCCESSORS, AND ASSIGNS.

#### GENERAL NOTES:

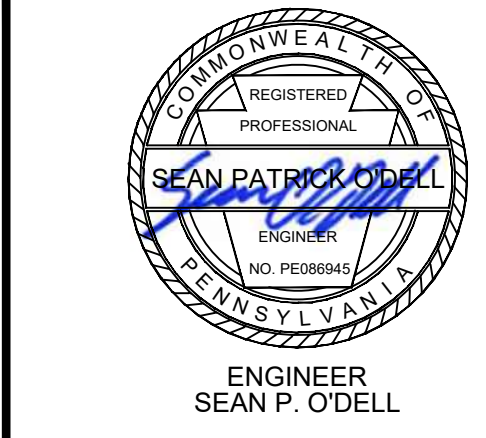
- PLAN MERIDIAN BASED ON STATE PLANE, NAD83, PA SOUTH, NAVD88, CONUS12A, US SURVEY FEET.
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- EXISTING CONDITION FEATURES SHOWN ARE A COMPILATION OF FIELD LOCATIONS AND TRACINGS OF ONLINE IMAGERY AND GIS MAPPING. THE SURVEY DOES NOT WARRANT THE ACCURACY OF ALL THE EXISTING FEATURES SHOWN ON THE PLAN.
- TOPOGRAPHY FEATURES SHOWN ARE A COMPILATION OF FIELD LOCATIONS AND TRACINGS OF ONLINE IMAGERY AND GIS MAPPING. THE SURVEY DOES NOT WARRANT THE ACCURACY OF ALL THE EXISTING FEATURES SHOWN ON THE PLAN.
- 100% COMPACTED AGGREGATE BACKFILL SHALL BE USED UNDER IMPROVED SURFACES SUCH AS ROAD SAND SIDEWALKS.

PROPOSED LEGEND	
	- PR. INDEX CONTOUR (10 FOOT INTERVAL)
	- PR. INTERMEDIATE CONTOUR (2 FOOT INTERVAL)
	- PR. BUILDING/STRUCTURE
	- PR. PAVEMENT W/ CENTERLINE
	- PR. CHANNEL OR DITCH
	- PR. SANITARY SEWER LINE W/ MANHOLE
	- PR. CONCRETE PAVEMENT
	- PR. STORM MANHOLE
	- PR. STORM INLET
	- PR. STORM ENDWALL
	- PR. GUIDE RAIL

EXISTING LEGEND	
	- EX. INDEX CONTOUR (10 FOOT INTERVAL)
	- EX. INTERMEDIATE CONTOUR (2 FOOT INTERVAL)
	- EX. PROPERTY LINE
	- EX. ADJACENT PROPERTY LINE
	- EX. ZONING DISTRICT YARD SETBACKS
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	- EX. PAVEMENT W/ CENTERLINE
	- EX. EASEMENT
	- EX. BUILDING/STRUCTURE
	- EX. SOLI MAP UNIT DELINEATION
	- EX. TREE LINE

	- EX. SANITARY SEWER LINE W/MANHOLE
	- EX. OVERHEAD UTILITY LINE
	- EX. STORMWATER PIPES W/ INLETS
	- EX. GUIDE RAIL
	- EX. STREAM
	- EX. FLOODWAY
	- EX. WETLAND
	- EX. FLOODPLAIN
	- EX. WATERLINE & VALVE
	- EX. GASLINE & METER

CALL BEFORE YOU DIG!  
PENNSYLVANIA LAW REQUIRES  
3 WORKING DAYS NOTICE FOR  
CONSTRUCTION PHASE & 10 WORKING  
DAYS IN DESIGN STAGE - STOP CALL  
Pennsylvania One Call System, Inc.  
**1-800-242-1776**  
SERIAL # 20252860987



#### REVISION HISTORY

DATE	NO.	DESCRIPTION
10-24-2024	1	UPDATED PER PTSA REVIEW LETTER Initial LD Plan Set Created
11-15-24	LD-0	
11-19-24	2	UPDATED PER PTSA REVIEW LETTER
12-03-24	PTSA-F	PTSA Final Approval
06-02-25	LD-1	Building and appearance revision.
08-21-25	LD-2	Building revision & Sanitary Line revision per As-Built Footprint.
10-27-25	LD-3	Updated per Township comments.
01-29-26	LD-4	Updated per Township comments.

**3836 WASHINGTON ROAD, LLC**  
**SANITARY SEWER PLAN & PROFILE**

TAX I.D. 540-011-02-01-0025-00  
PETERS TOWNSHIP  
WASHINGTON COUNTY, PA

PROJECT NO.: 23.103  
DATE: 08/16/2024  
SCALE: 1" = 50'  
DRAWN BY: DBH  
CHECKED BY: S.O.

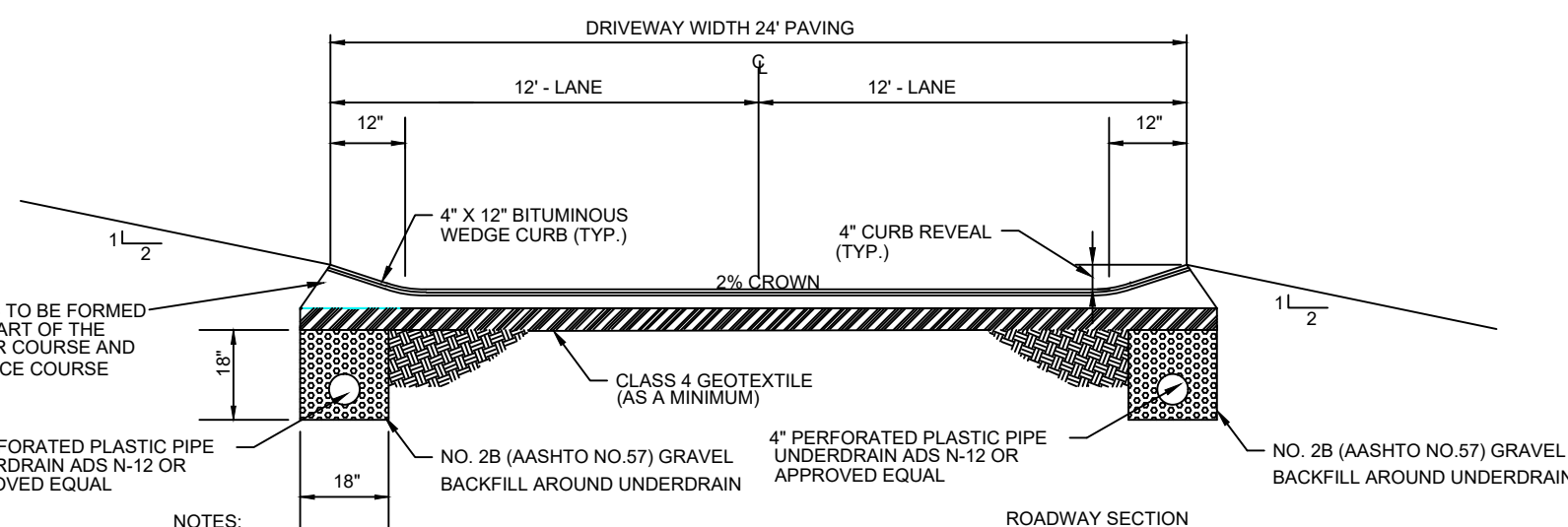


2455 PARK AVENUE  
WASHINGTON, PA 15301-8149  
T: 724.503.4125  
DRAWING NO.: **23.103-LD12**  
SHEET NUMBER 12 OF 18

FILE PATH: I:\01\_25\_Sewer Data\Work\23.103\_Sanitary Sewer Main\Drawings\Site\CAD\23.103\_01-25-25.dwg LAYOUT: LD12-SEWER-50 PLOT DATE: 1/29/2026 11:14:48 AM

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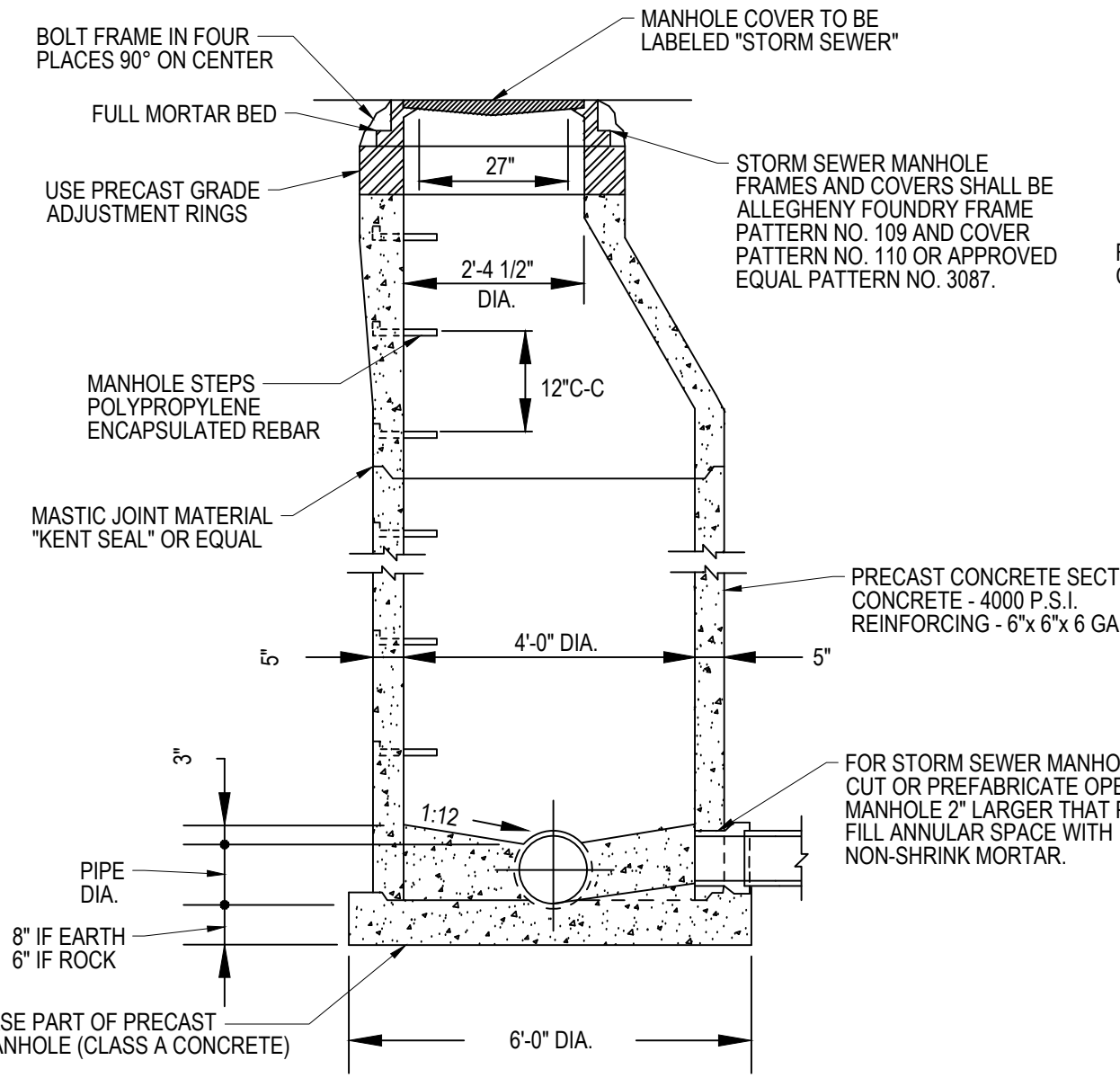




- NOTES:**
1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM WITH PENN DOT 408, LATEST REVISION
  2. ALL PAVING CONTRACTORS SHALL BE PENN DOT PREQUALIFIED FOR BITUMINOUS PAVING INSTALLATION
  3. THE PAVEMENT SUBGRADE SHALL HAVE THE SAME CROWN AS THE FINISHED PAVEMENT SURFACE
  4. RUN CURB DRAINS TO NEAREST DOWNSTREAM INLET. ADDITIONAL SUB-GRADE CROSS DRAINS MAY BE REQUIRED AT THE DISCRETION OF THE TOWNSHIP IF WET CONDITIONS ARE EVIDENT AT THE TIME OF CONSTRUCTION
  5. ALL UTILITY SERVICE CROSSINGS MUST BE INSTALLED PRIOR TO PAVING
  6. EACH PUBLIC UTILITY INSTALLED MUST BE IN A SEPARATE TRENCH WITH THE FOLLOWING DIMENSIONS CONSIDERING THAT THE UTILITY IS IN THE CENTER OF THE TRENCH: GAS 3 FEET, WATER 3 FEET, SANITARY SEWER 3 FEET, STORM SEWER 3 FEET, ELECTRIC 2 FEET, TELEPHONE 1.5 FEET, CABLE TV 1.5 FEET, ELECTRIC, TELEPHONE, AND CABLE TV IF INSTALLED IN ON TRENCH, IT MUST BE 3 FEET WIDE
  7. THE AIR AND SURFACE TEMPERATURE FOR ALL PAVING MUST BE 40 DEGREES AND RISING
  8. THE SUBGRADE FOR ALL PAVING MUST BE COMPLETED BY OCTOBER 1 AND PAVING MUST BE COMPLETED BY OCTOBER 15
  9. CONFIRM ROAD SECTION PAVEMENT SECTION WITH THE GEOTECHNICAL ENGINEER PRIOR TO BEGINNING WORK
- ROADWAY SECTION**
1. 1 1/2" SUPERPAVE 9.5 MM WEARING COURSE
  2. FOURTH COURSE
  3. 2 1/2" SUPERPAVE 19.0 MM BINDER COURSE
  4. THIRD COURSE
  5. 4" SUPERPAVE 25.0 MM BASE COURSE
  6. SECOND COURSE
  7. 6" OF 2A LIMESTONE
  8. FIRST COURSE
  9. CLASS 4 GEOTEXTILE (AS A MINIMUM)
  10. TOWNSHIP ENGINEER MAY REQUIRE INCREASED GEOTEXTILE STRENGTH DEPENDING UPON ACTUAL FIELD CONDITIONS

**ROADWAY CROSS SECTION DETAIL**

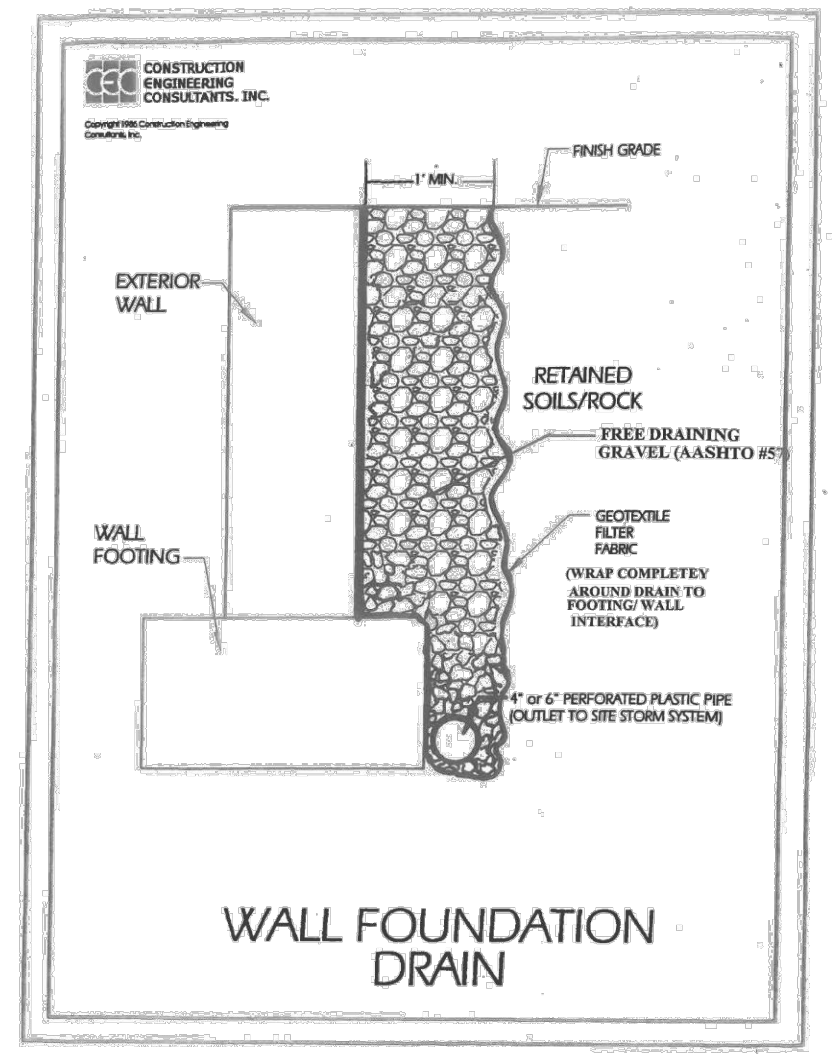
N.T.S.



- NOTES:**
1. PRECAST CONCRETE MANHOLES MUST MEET OR EXCEED THE ASTM C476 SPECIFICATIONS FOR "PRECAST REINFORCED CONCRETE MANHOLES, RISER, AND TOPS"
  2. CONCRETE STANDARD SPECIFICATIONS:
  3. ALL LIFTING HOLES SHALL BE FILLED WITH NON-SHRINK MORTAR.
  4. PRECAST MANHOLE BASE SHALL BE PLACED ON MIN. 6" COMPACTED AGGREGATE BASE.
  5. FORMED INVERT CHANNEL SHALL BE SMOOTH AND ACCURATELY SHAPED TO A SEMI-CIRCULAR BOTTOM CONFORMING TO THE INSIDE OF THE ADJACENT SEWER SECTION. CIRCULAR BOTTOM CONFORMING TO THE INSIDE OF THE ADJACENT SEWER SECTION.

**TYPICAL STORM SEWER MANHOLE DETAIL**

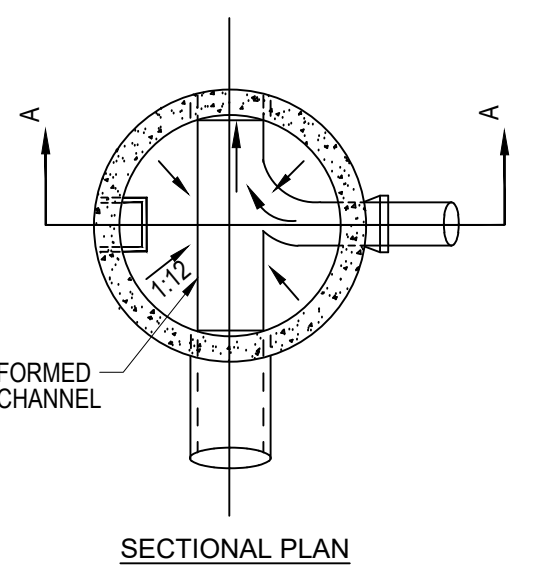
N.T.S.



**NOTES:**  
CONTRACTOR TO PROVIDE FINAL WALL DESIGNS.

**RETAINING WALL DETAIL**

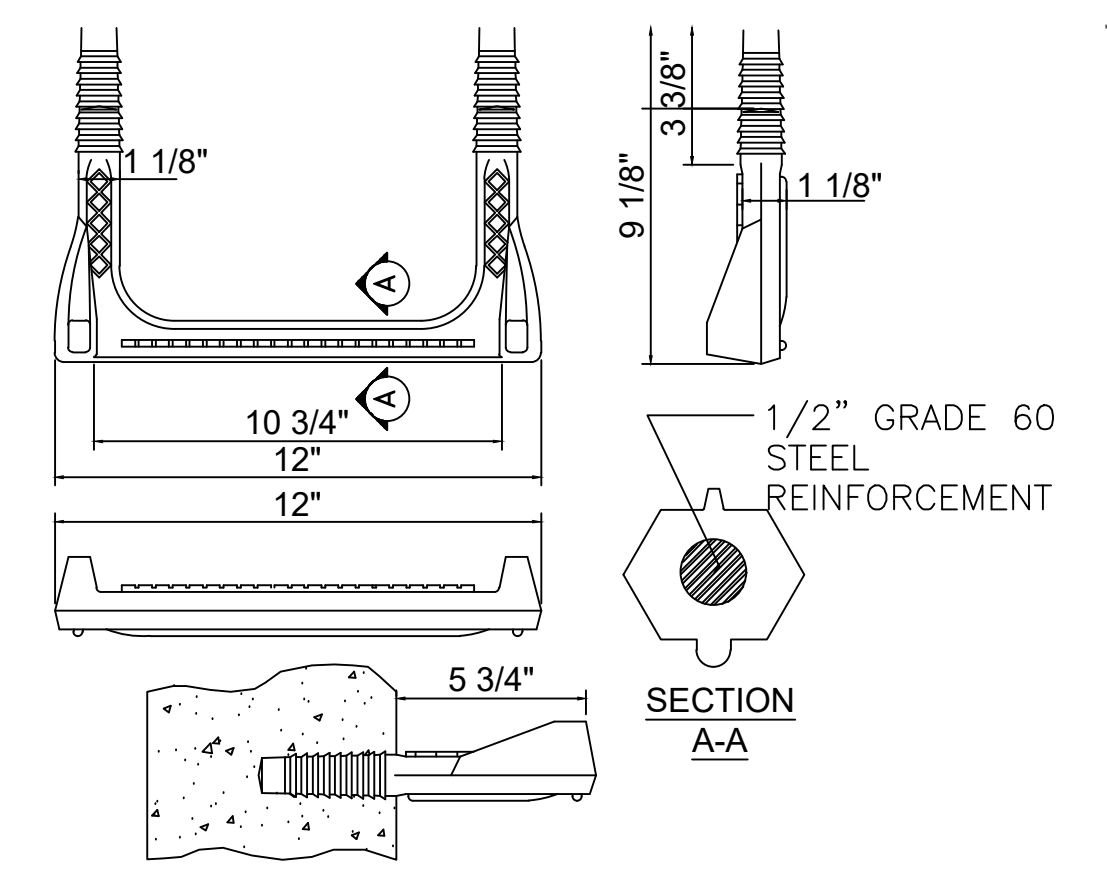
N.T.S.



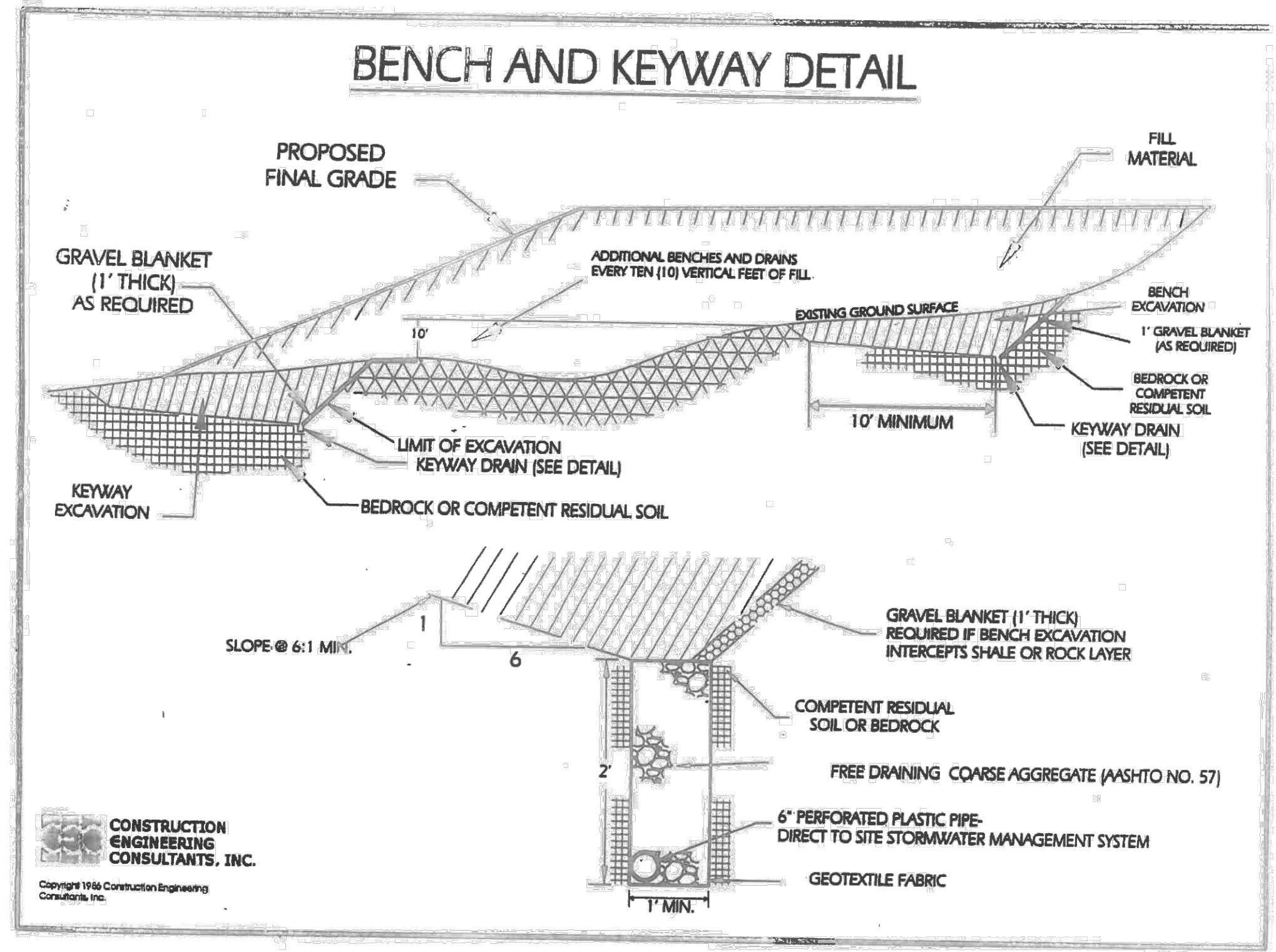
SECTIONAL PLAN

**LADDER BARS FOR MANHOLE/INLET STEPS DETAIL**

N.T.S.



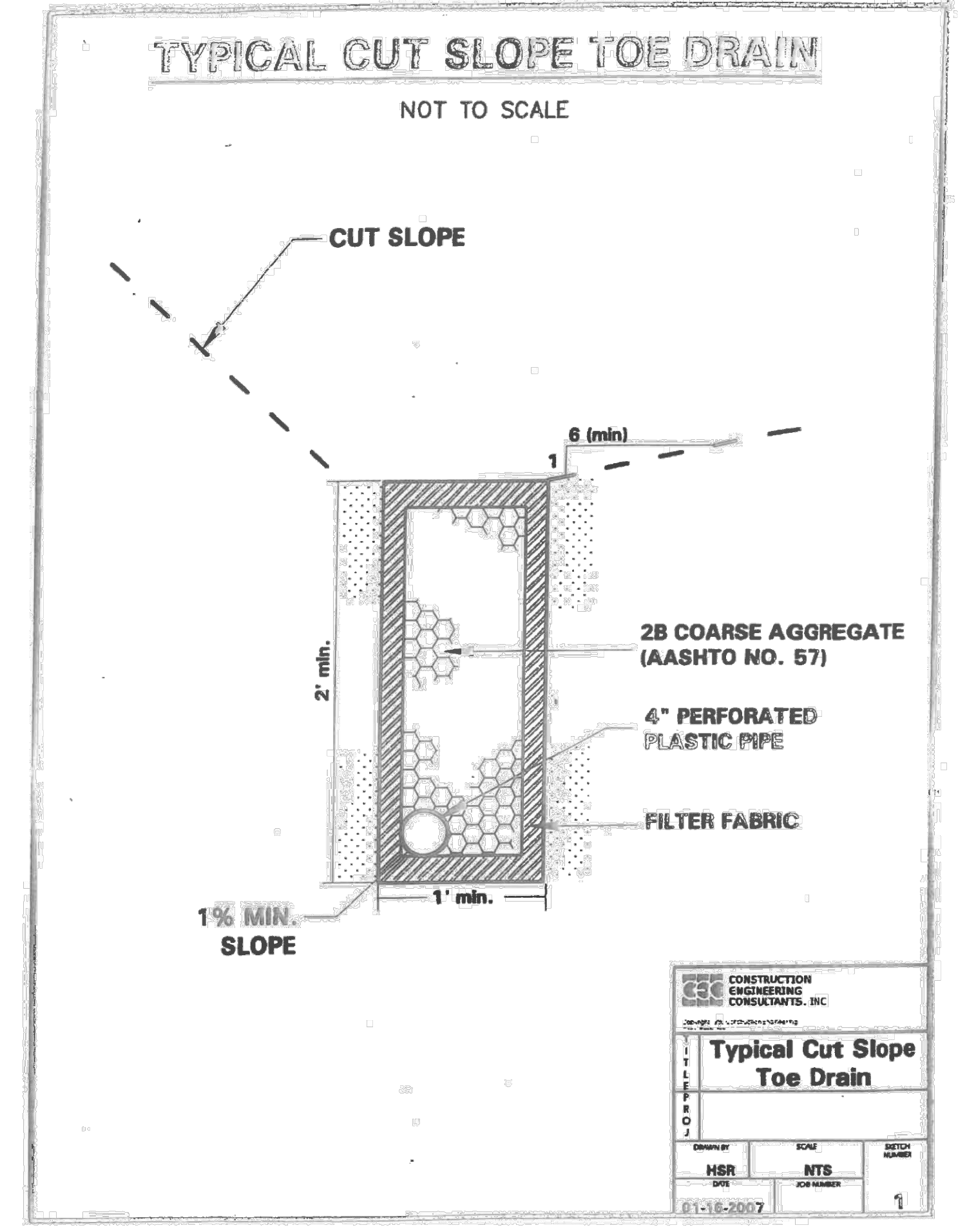
- NOTE:**  
1. MANHOLE/INLET STEPS ARE TO BE USED WITH MANHOLES & INLETS >5' DEPTH OR AS NECESSARY FOR OTHER STRUCTURES REQUIRING ACCESS.



**BENCH AND KEYWAY DETAIL**

N.T.S.

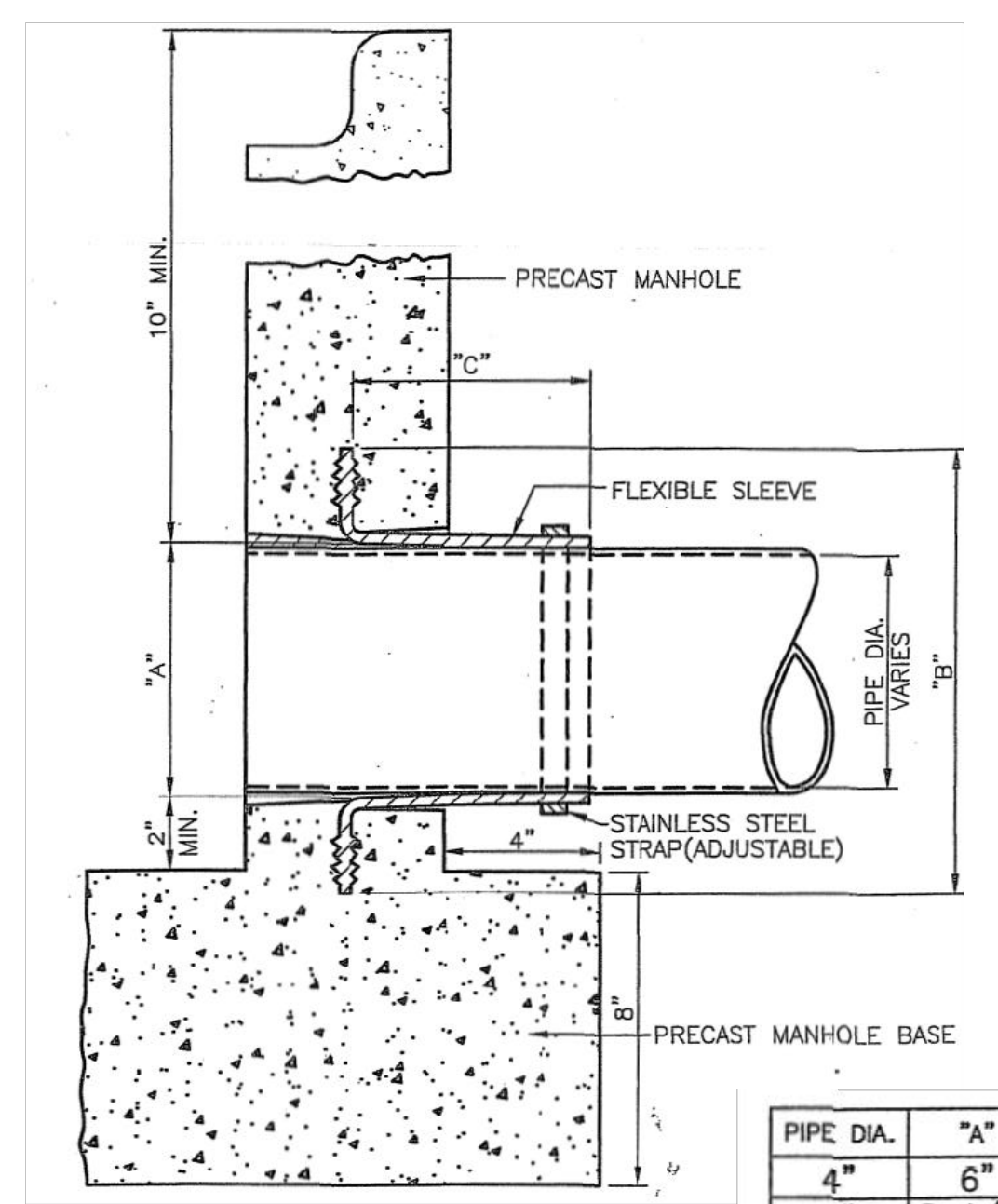
CONSTRUCTION ENGINEERING CONSULTANTS, INC.



**TYPICAL CUT SLOPE TOE DRAIN DETAIL**

N.T.S.

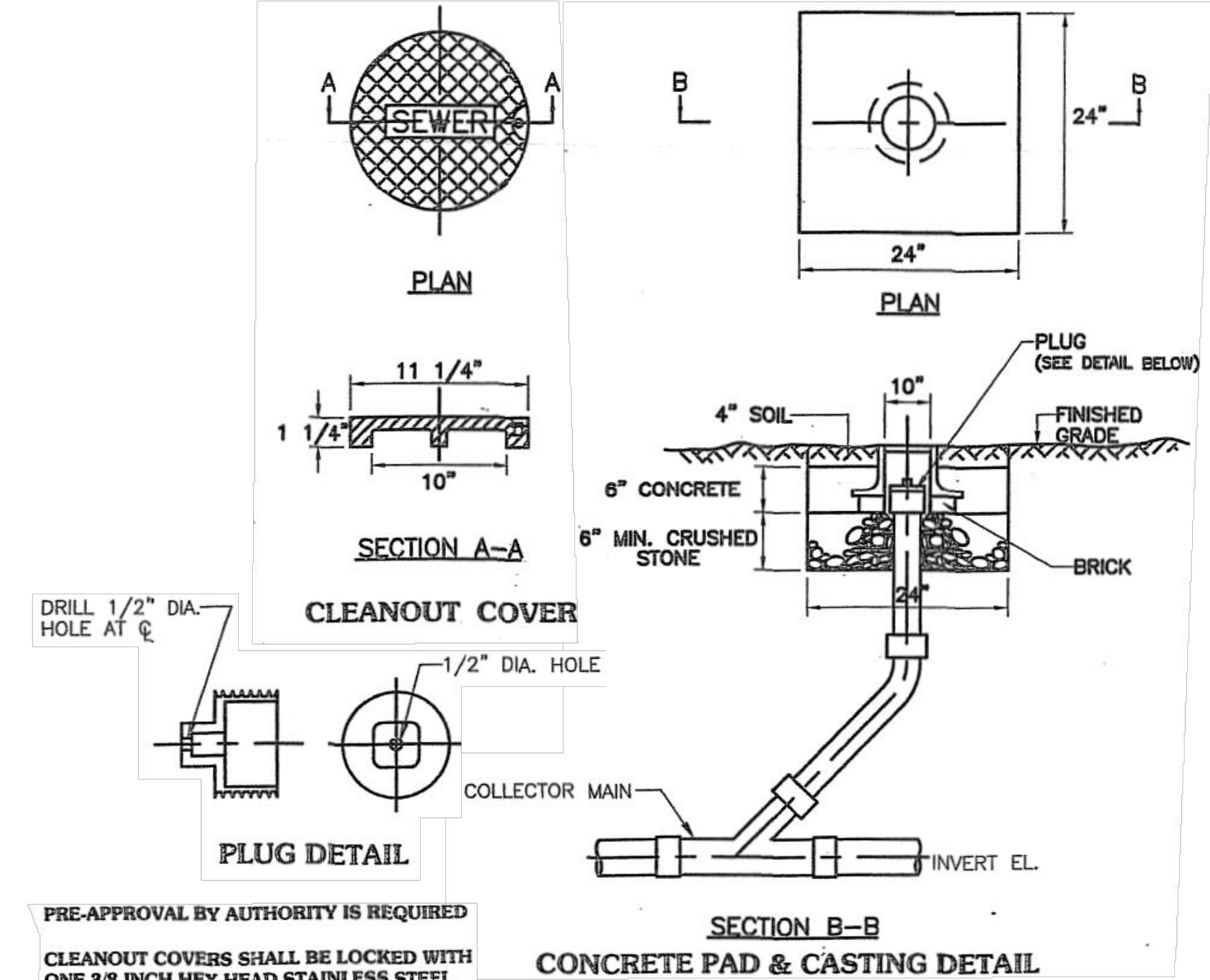
CONSTRUCTION ENGINEERING CONSULTANTS, INC.



**MANHOLE FLEXIBLE SLEEVE CONNECTION FOR ALL PIPE DETAIL**

N.T.S.

PIPE DIA.	"A"	"B"	"C"
4"	6"	14"	6"
6"	8 1/8"	16 1/8"	6 1/2"
8"	10 3/8"	18 3/8"	7 1/2"
10"	12 5/8"	20 5/8"	7 1/2"
12"	14 7/8"	22 7/8"	7 1/2"
15"	18 7/8"	26 7/8"	9"



**CLEANOUT: IMPERVIOUS/PAVED AREAS TYP. DETAIL**

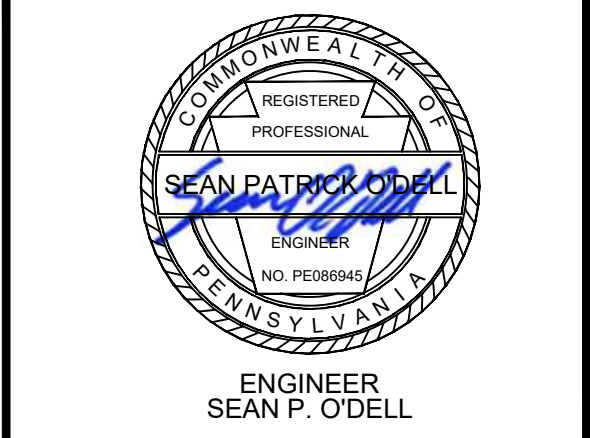
N.T.S.

PRE-APPROVAL BY AUTHORITY IS REQUIRED  
CLEANOUT COVERS SHALL BE LOCKED WITH ONE 3/8 INCH HEX HEAD STAINLESS STEEL BOLT AND SHALL BE MODEL R-1976 AS MANUFACTURED BY NEENAH FOUNDRY.

CALL BEFORE YOU DIG!  
PENNSYLVANIA LAW REQUIRES

3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE & 10 WORKING DAYS IN DESIGN STAGE - STOP CALL Pennsylvania One Call System, Inc.

1-800-242-1776  
SERIAL # 20252860987



**REVISION HISTORY**

DATE	NO.	DESCRIPTION
11-15-24	LD-0	Initial LD Plan Set Created
06-02-25	LD-1	Building and appearance revision.
08-21-25	LD-2	Building revision & Sanitary Line revision per As-Built Network.
10-27-25	LD-3	Updated per Township comments.

3836 WASHINGTON ROAD, LLC  
CONSTRUCTION DETAILS (SHEET 1 OF 3)

PROJECT NO.: 23.103  
DATE: 08/16/2024  
SCALE: N.T.S.  
DRAWN BY: DBH  
CHECKED BY: S.O.



DRAWING NO.: 23.103-LD14  
SHEET NUMBER 14 OF 18

FILE PATH: \\01-25-Server\Drawings\23.103\Angelo\Quantity\Manufacture\Site\CAD\23.103\1-29-25.dwg LAYOUT: LD14-DTL5 PLOT DATE: 1/29/2026 11:50:03 AM

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**REVISION HISTORY**

DATE	NO.	DESCRIPTION
11-15-24	LD-0	Initial LD Plan Set Created
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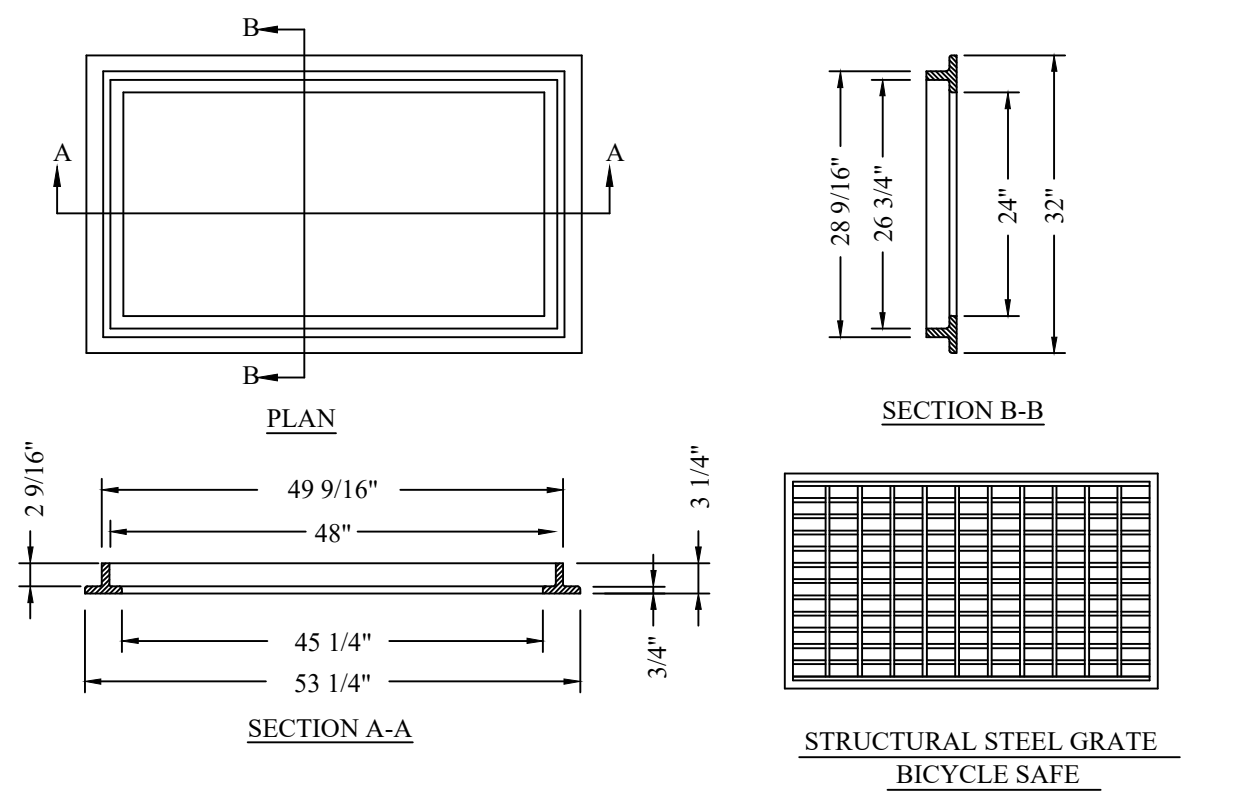
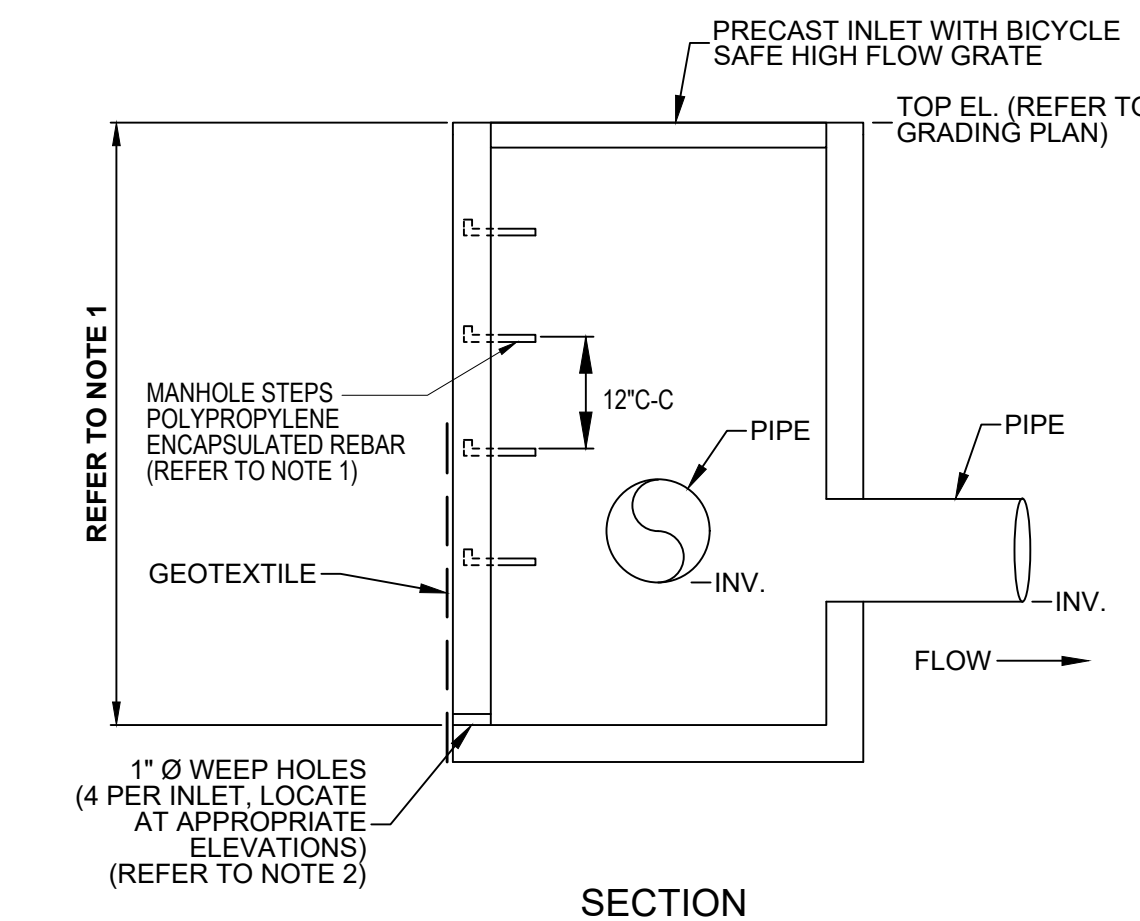
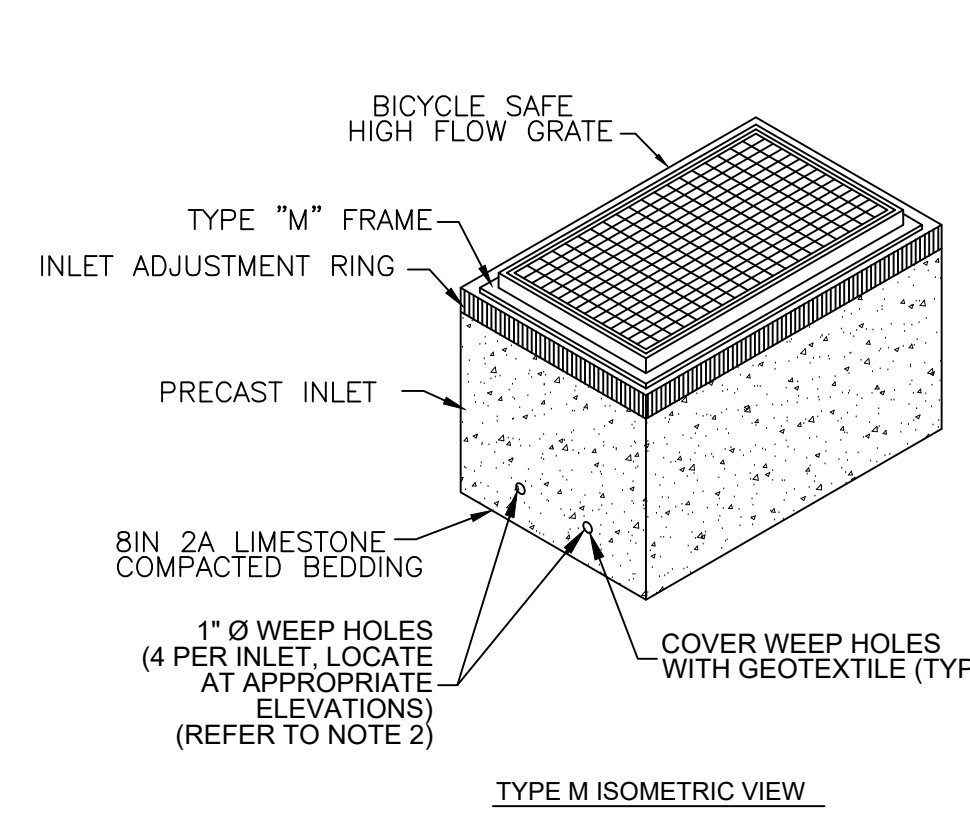
**3836 WASHINGTON ROAD, LLC  
CONSTRUCTION DETAILS (SHEET 2 OF 3)**

PROJECT NO.:	23.103
DATE:	08/16/2024
SCALE:	N.T.S.
DRAWN BY:	DBH
CHECKED BY:	S.O.

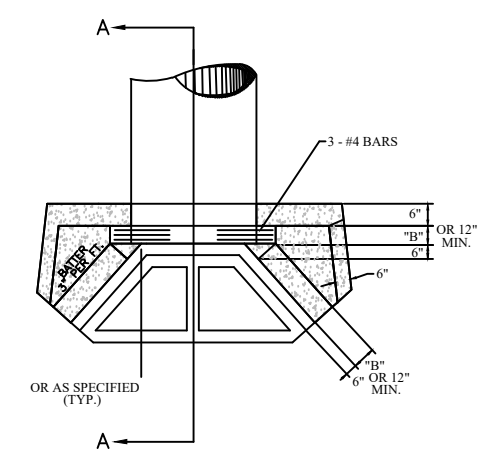


CALL BEFORE YOU DIG!  
PENNSYLVANIA LAW REQUIRES  
3 WORKING DAYS NOTICE FOR  
CONSTRUCTION PHASE & 10 WORKING  
DAYS IN DESIGN STAGE - STOP CALL  
Pennsylvania One Call System, Inc.  
**1-800-242-1776**  
SERIAL # 20252860987

DRAWING NO.:  
**23.103-LD15**  
SHEET NUMBER 15 OF 18

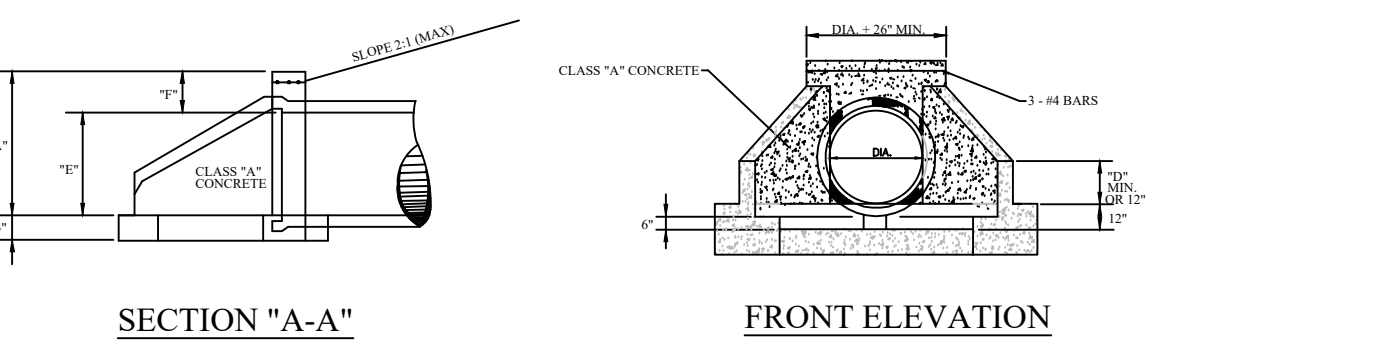


- NOTE:**
- INLET STEPS ARE ONLY TO BE USED WITH INLETS >5' DEPTH OR AS NECESSARY FOR OTHER STRUCTURES REQUIRING ACCESS.
  - 1" DIA. WEEP HOLES SHALL BE PLACED AT APPROPRIATE ELEVATIONS TO COMPLETELY DRAIN THE SUBGRADE AND COVERED EXTERIORLY WITH GEOTEXTILE.

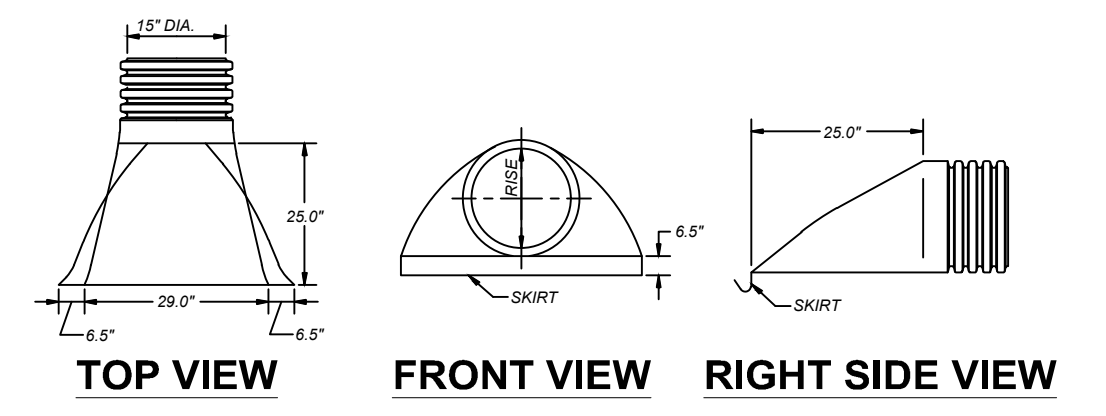


PIPE DIAMETER	A	B	C	D	E	F
15"	2'-6"	9"	2'-0"	12"	1'-9"	9"
18"	2'-6"	9"	2'-0"	12"	2'-0"	9"
24"	3'-2"	9"	2'-0"	12"	2'-0"	9"
30"	4'-0"	12"	2'-6"	15"	3'-0"	12"
36"	4'-8"	12"	2'-6"	15"	3'-6"	12"
42"	5'-3"	15"	4'-3"	18"	4'-0"	15"
48"	5'-9"	15"	4'-9"	21"	4'-6"	15"
54"	6'-3"	15"	5'-3"	24"	5'-0"	15"
60"	7'-0"	15"	5'-9"	2'-3"	5'-6"	18"
66"	7'-8"	15"	7'-0"	2'-6"	6'-0"	18"
72"	8'-0"	18"	7'-0"	2'-6"	6'-6"	18"
84"	9'-0"	18"	8'-3"	2'-9"	7'-6"	18"

**NOTE:** LINE THE BOTTOM AND THE SIDES OF THE DITCH BELOW THE ENDWALL WITH RIP RAP AS NECESSARY TO PROVIDE EROSION CONTROL. ALL RIP RAP SHALL BE LIMESTONE.

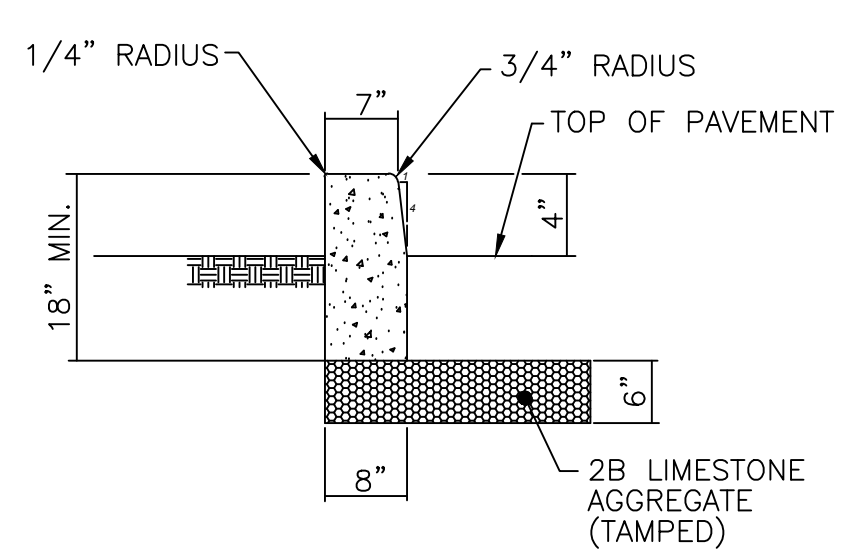


**ENDWALL OR HEADWALL  
DETAIL**



- NOTES:**
- THE INVERT OF THE PIPE AND THE END SECTION SHALL BE AT THE SAME ELEVATION.
  - WHEN PROVIDED THE METAL FASTENING ROD SHALL BE STAINLESS STEEL.
  - INSTALL AS PER MANUFACTURER'S SPECIFICATIONS.
  - PRODUCT DETAIL MAY DIFFER SLIGHTLY FROM ACTUAL PRODUCT APPEARANCE.

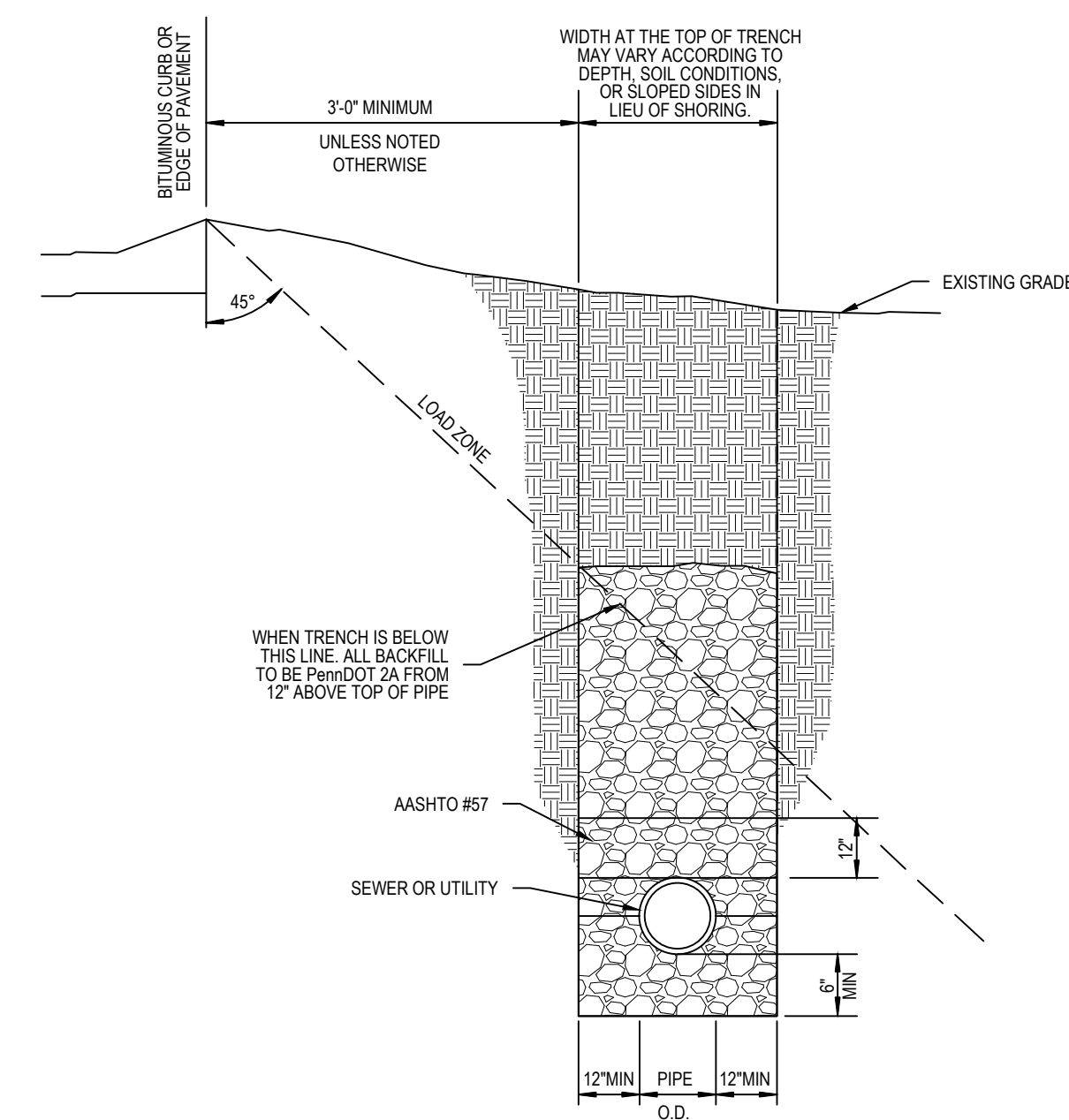
**PLASTIC FLARED HEADWALL/ENDWALL  
DETAIL**



- NOTES:**
- 3/8" EXPANSION JOINT AT 30.0'
  - MAXIMUM SPACING
  - CLASS A CEMENT CONCRETE

**TYPICAL 4" BARRIER CONCRETE CURB  
DETAIL**

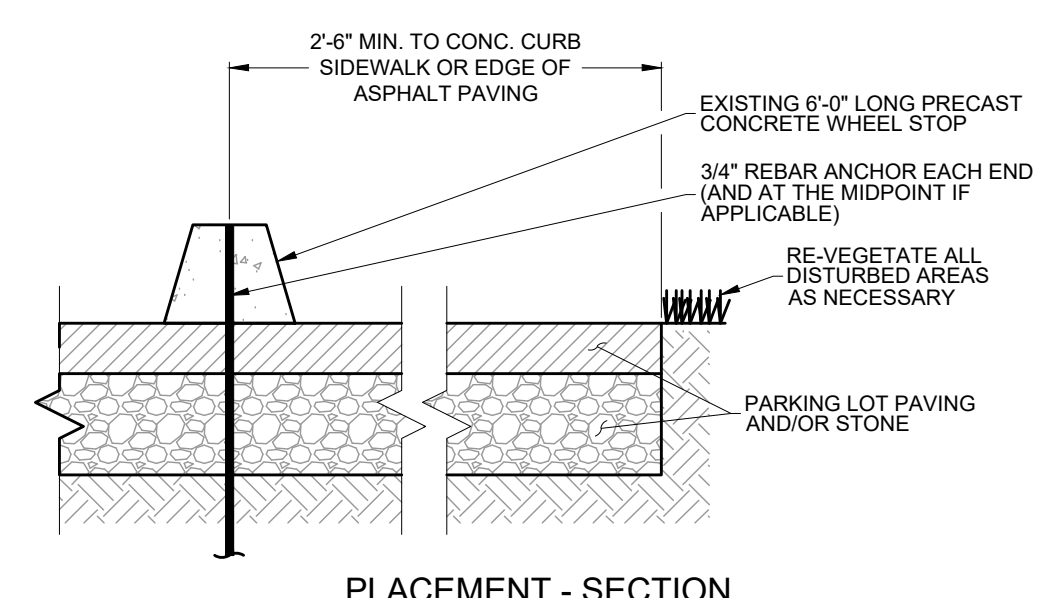
**VAN ACCESSIBLE PARKING STALL STRIPING  
DETAIL**



**BEDDING:** THE BEDDING SHALL HAVE A MINIMUM DEPTH OF SIX INCHES (6") BELOW ALL PIPE AND SHALL BE BACKFILLED WITH AASHTO #57 TO TWELVE INCHES (12") ABOVE PIPE.

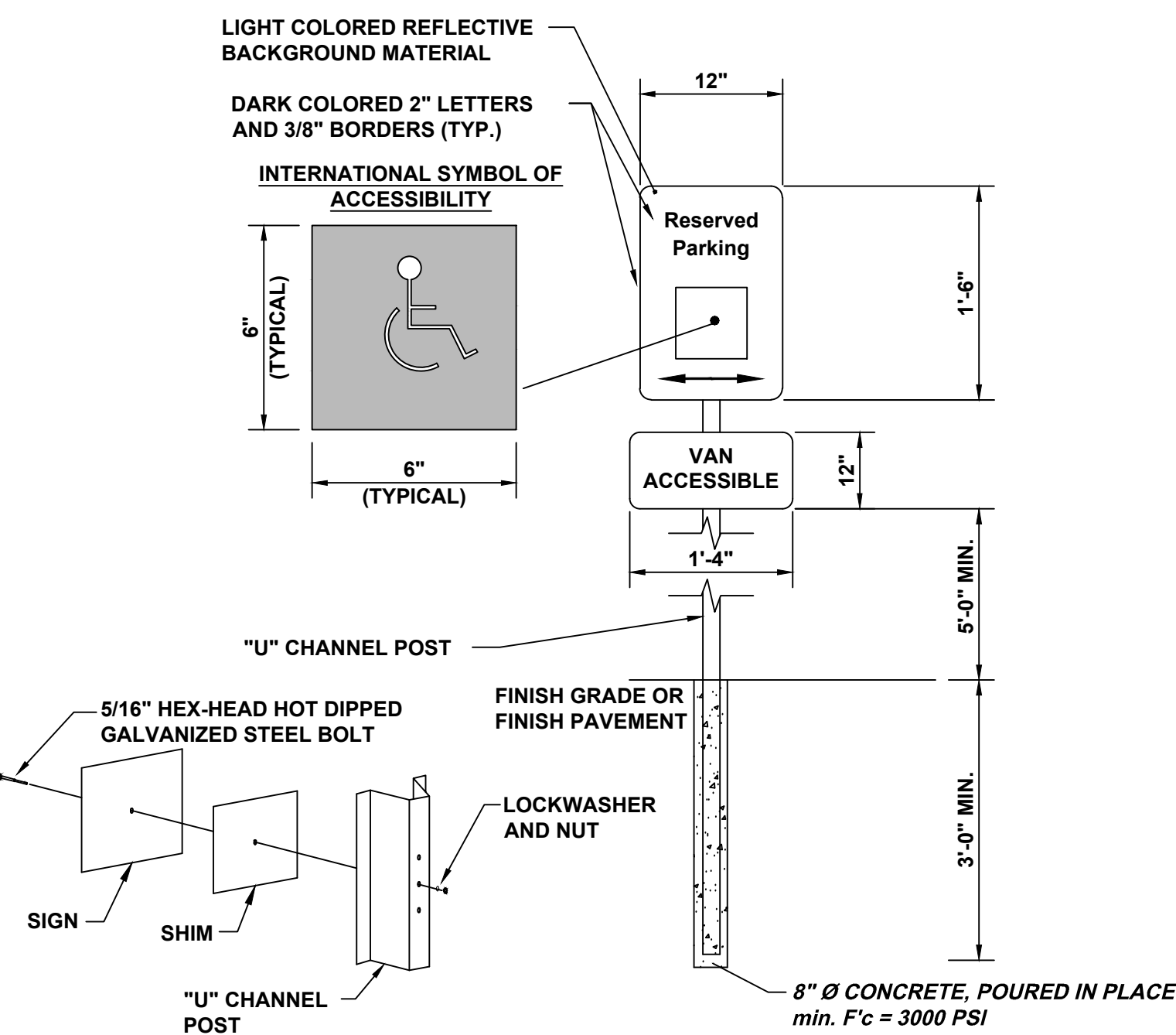
**BACKFILL:** ALL STREET, DRIVEWAY AND PARKING AREA CROSSINGS SHALL BE BACKFILLED FROM 12" ABOVE PIPE TO SUBGRADE WITH PennDOT 2A. IN ALL OTHER TRENCH AREAS BACKFILL FROM 12" ABOVE TOP OF PIPE TO GRADE TO BE SELECT MATERIAL, FREE OF DEBRIS, ORGANIC MATERIAL, AND ROCK, TAMPED IN 6" LAYERS.

**PIPE TRENCHING AND BEDDING  
DETAIL**



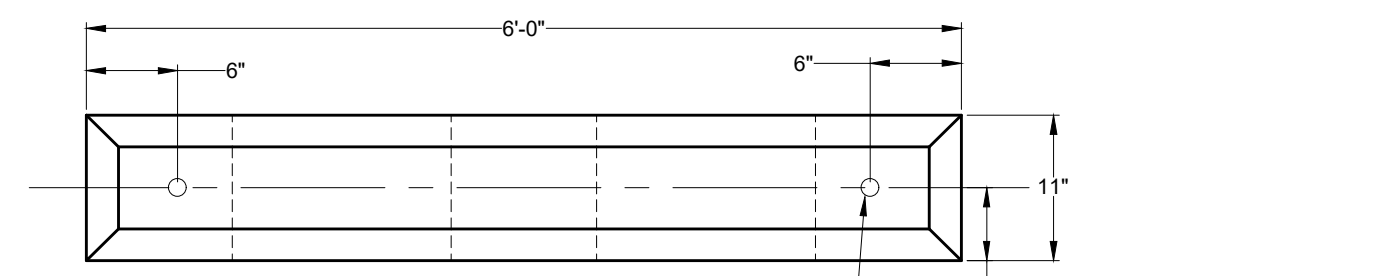
**NOTE:** WHEEL STOPS ARE NOT REQUIRED FOR ALL PARKING SPACES. WHEEL STOPS ARE ONLY REQUIRED WHERE NECESSARY FOR SAFETY OR PROTECTION OF ADJACENT STRUCTURES, LANDSCAPED AREAS, OR DOWNWARD SLOPES.

**PLACEMENT - SECTION**

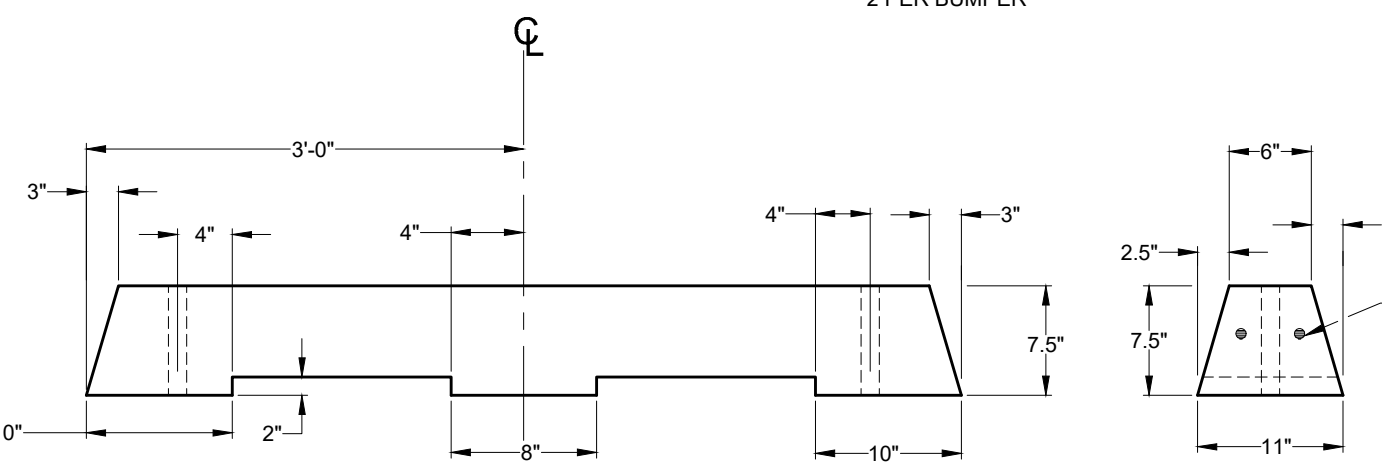


**NOTE:** CONTRACTOR TO INSTALL ADA PARKING SIGN THAT CONFORMS TO ALL FEDERAL REGULATIONS, INCLUDING DIMENSIONS. CURRENT FEDERAL REQUIREMENTS SUPERCEDE DETAIL SHOWN.

**ADA SIGN ASSEMBLY  
DETAIL**



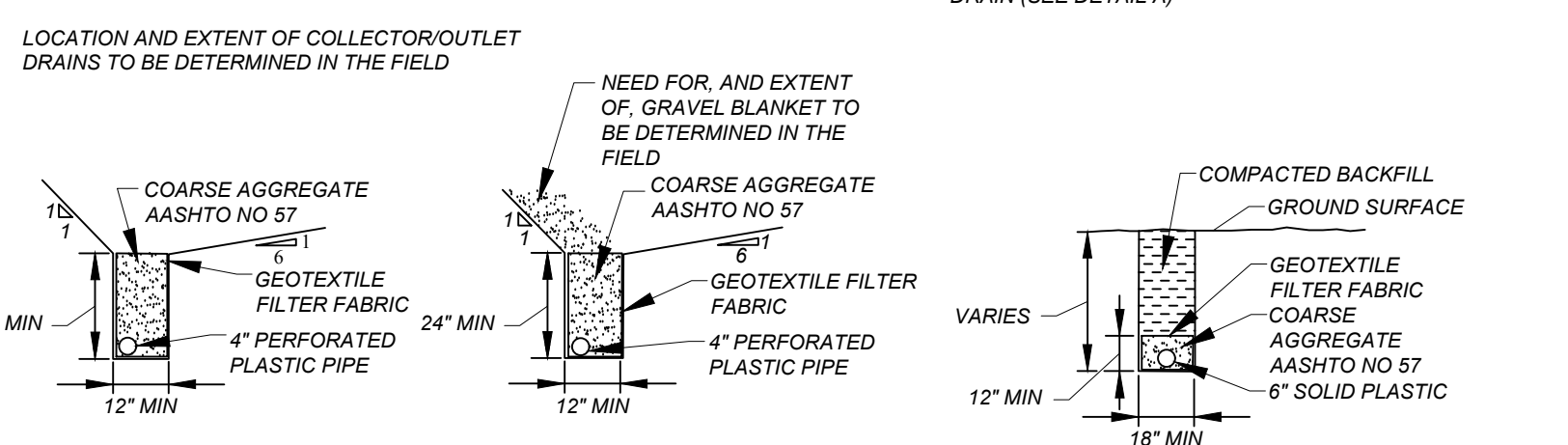
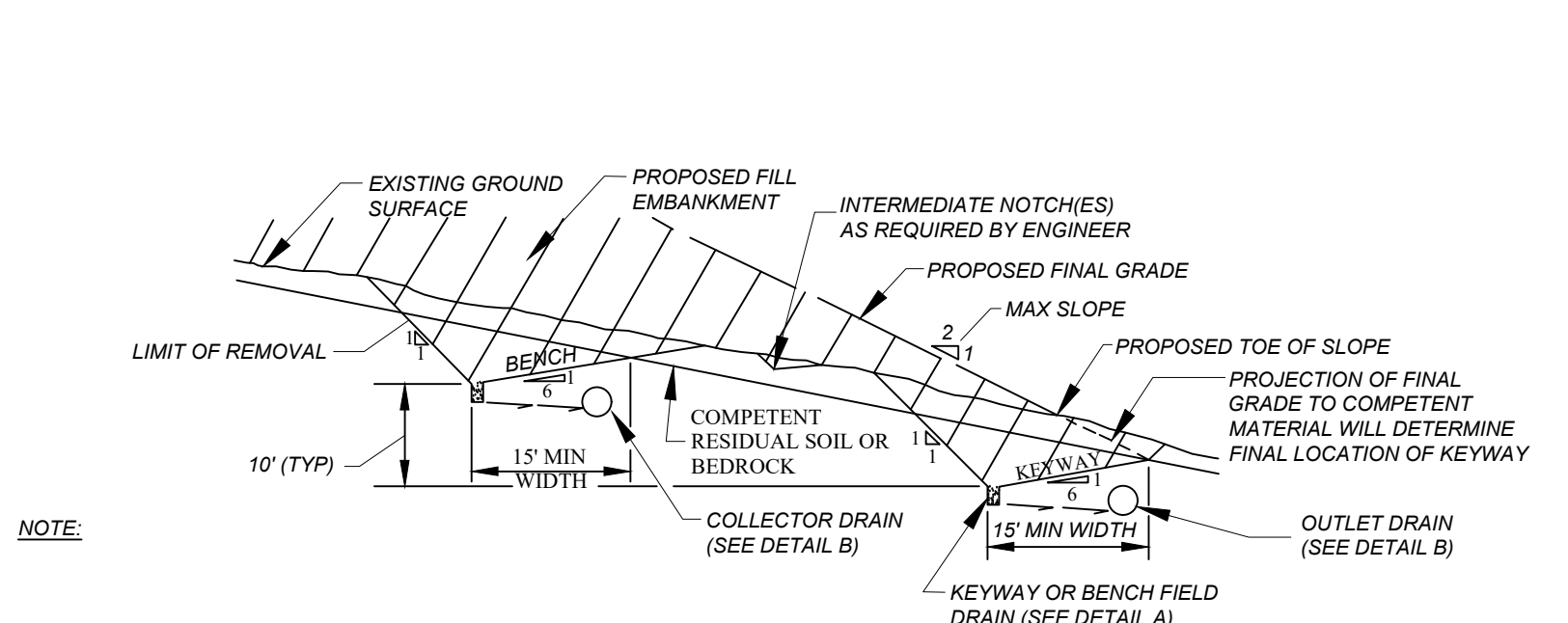
**PLAN**



**ELEVATION**

**SECTION**

**CONCRETE WHEEL STOP**

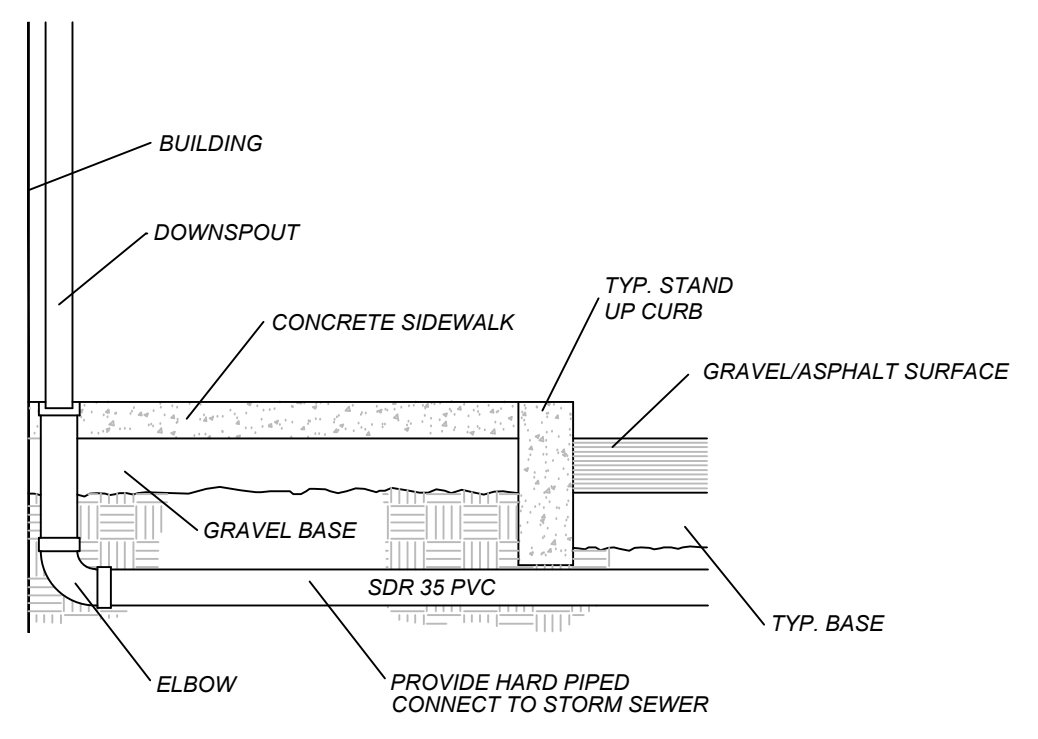


**FIELD DRAIN**  
NTS

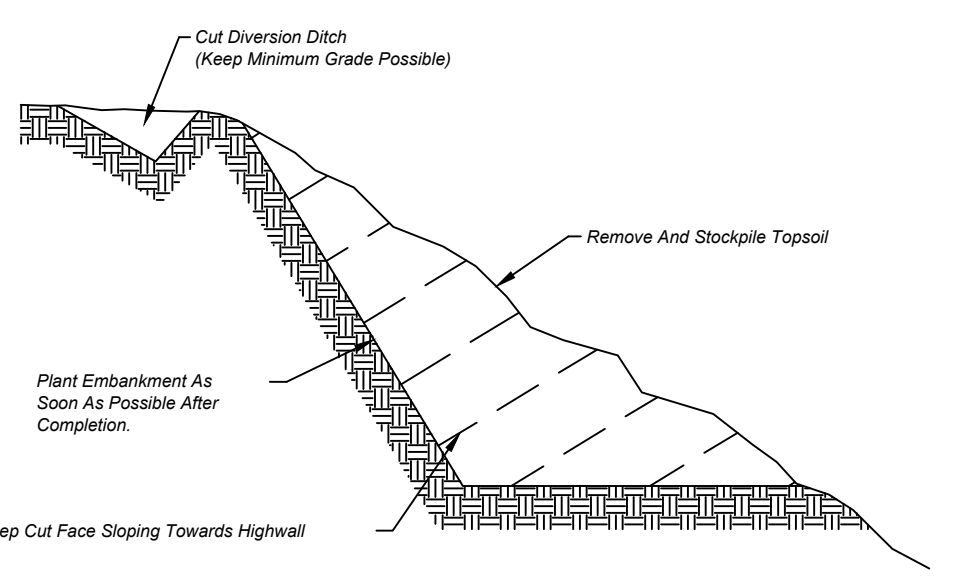
**FIELD DRAIN WITH OPTIONAL GRAVEL BLANKET**  
NTS

**COLLECTOR / OUTLET DRAIN**  
DETAIL B

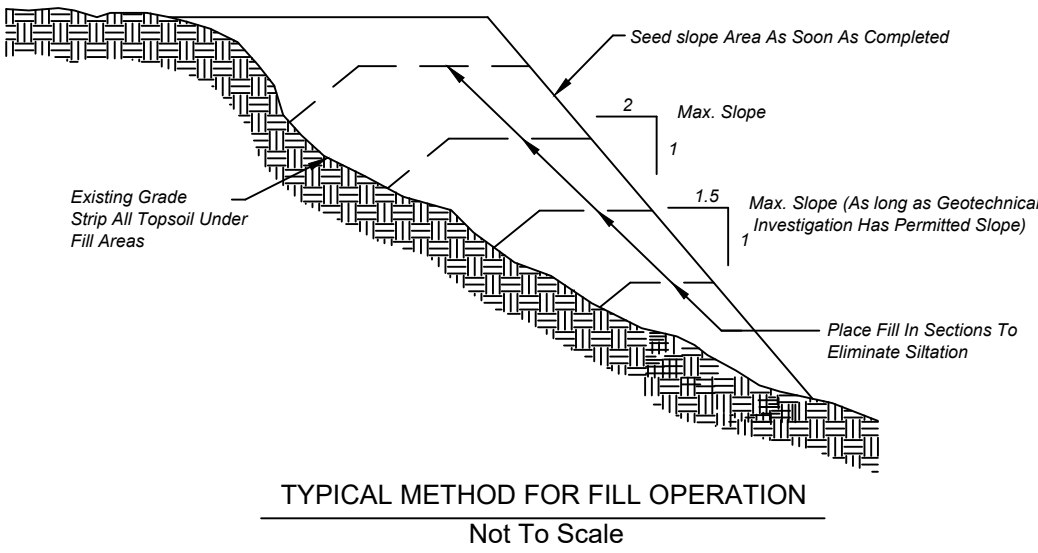
**TYPICAL EARTHWORK  
DETAIL**



**ROOF DRAIN CONNECTION  
DETAIL**



**TYPICAL METHOD FOR CUT OPERATION**  
Not To Scale



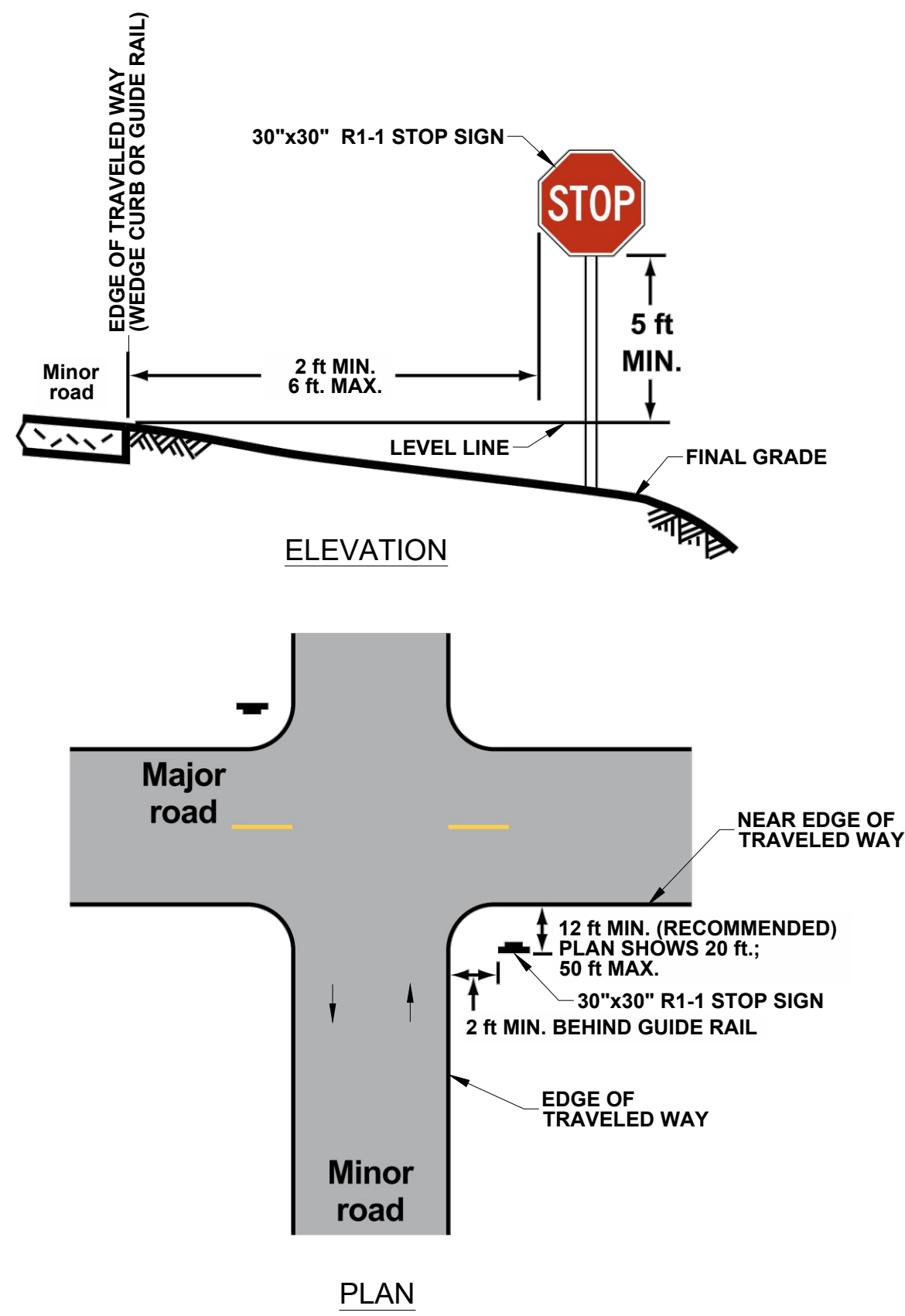
**TYPICAL METHOD FOR FILL OPERATION**  
Not To Scale

**TYPICAL METHOD FOR CUT/FILL  
OPERATIONS  
DETAIL**

LAYOUT: LD15-DTL5

PLOT DATE: 1/29/2026 11:15:09 AM

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**NOTE:**

1. ALL STOP SIGN INSTALLATIONS MUST BE IN COMPLIANCE WITH PETERS TOWNSHIP'S MUNICIPAL RESOLUTION #04-02-20, ADOPTED APRIL 27, 2020. ADDITIONAL STANDARDS GOVERNING THE INSTALLATION OF A STOP SIGN SHALL BE FOUND IN THE CURRENT EDITIONS OF THE FOLLOWING DOCUMENTS.
  - 1.1. FEDERAL HIGHWAY ADMINISTRATION'S MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
  - 1.2. PENNSYLVANIA DEPARTMENT OF TRANSPORTATION (PennDOT) PUBLICATION 46, TRAFFIC ENGINEERING MANUAL.
  - 1.3. PennDOT PUBLIC 212, TRAFFIC ENGINEERING STUDIES.

**STOP SIGN (R1-1) INSTALLATION DETAIL** N.T.S.

**R1-1 STOP SIGN**

(a) Justification. The Stop Sign (R1-1) is authorized for use on those streets or highways which intersect with a through highway or at a stop intersection so designated by the Department with reference to State-designated highways or local authorities with reference to highways under their jurisdiction. The R1-1 sign is also authorized for use in work zones involving one-lane, two-way roadways. At intersections where all approaches are controlled by an R1-1 sign, a supplemental ALL-WAY plaque (R1-3P) shall be mounted below each R1-1 sign.

(b) Authorization. Before local authorities designate any highway as a through highway or stop intersection which will intersect or affect a State-designated highway, approval of such designation shall first be obtained from the Department. Approval to install R1-1 signs in work areas shall not require the approval of the Department or local authorities when the conditions stipulated in the Department's Temporary Traffic Control Guidelines are satisfied.

(c) Size. The standard size R1-1 sign shall be 30" x 30" for single lane conventional highways and 36" x 36" for multi-lane conventional highways. The 24" x 24" size shall only be used for alleys with restrictive physical conditions and vehicle usage that prohibits the installation of the standard size R1-1. A sign that is mounted back-to-back with a R1-1 sign should stay within the edges of the R1-1 sign. If necessary, the size of the R1-1 sign should be increased so that any other sign installed back-to-back with it remains within the edges of the R1-1 sign.

SIGN SIZE A x A	DIMENSIONS - IN					BLANK STD.
	B	C	D	BOR- DER		
18" x 18"	6	66	6	0.4		
24" x 24"	6	66	10	0.6	B1-24	
30" x 30"	10	100	12.6	0.8	B1-30	
36" x 36"	12	120	15	0.9	B1-36	
48" x 48"	16	160	20	1.2	B1-48	

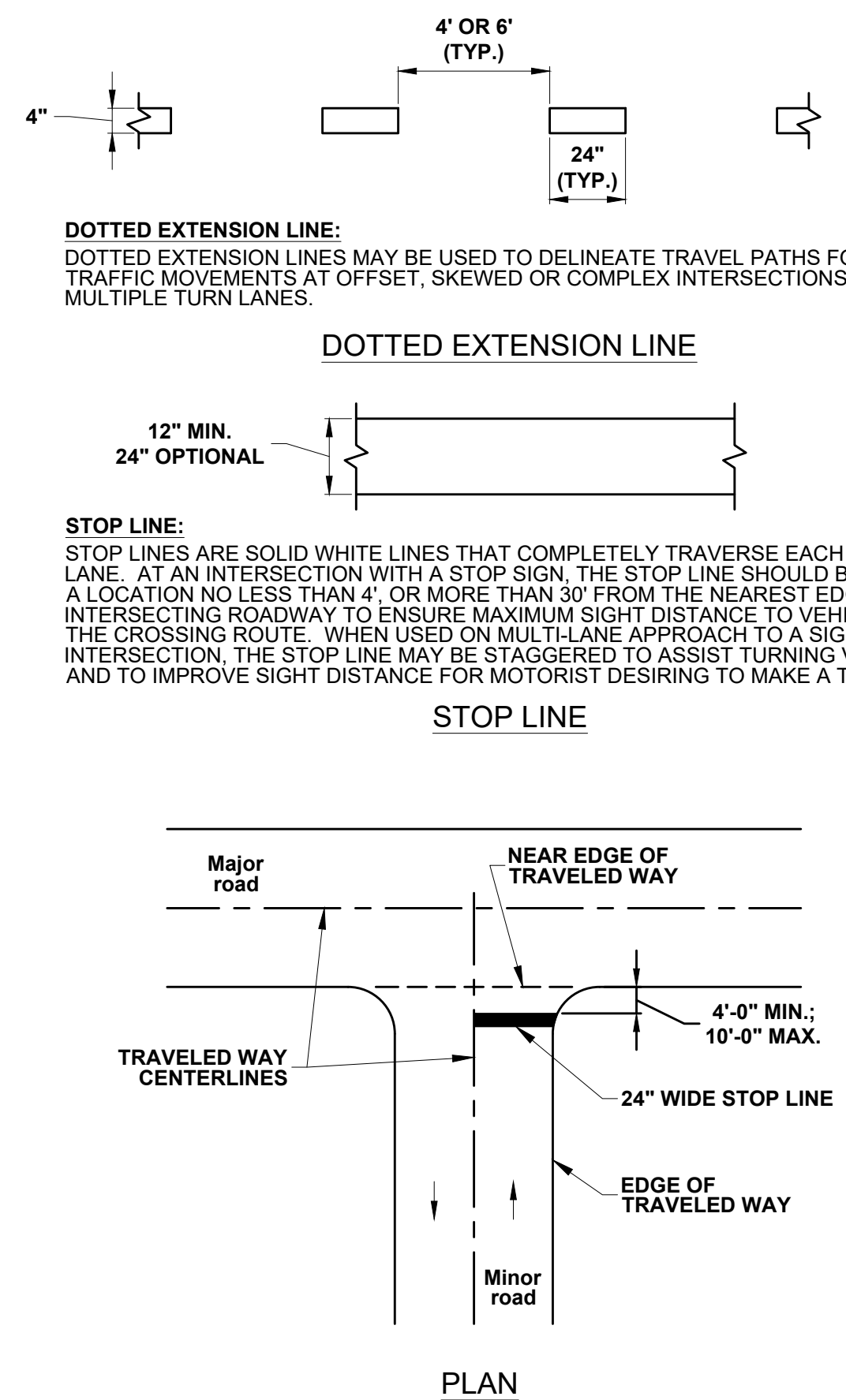
COLOR: \*REDUCE SPACING 40%

LEGEND AND BORDER:  
WHITE (REFLECTORIZED)

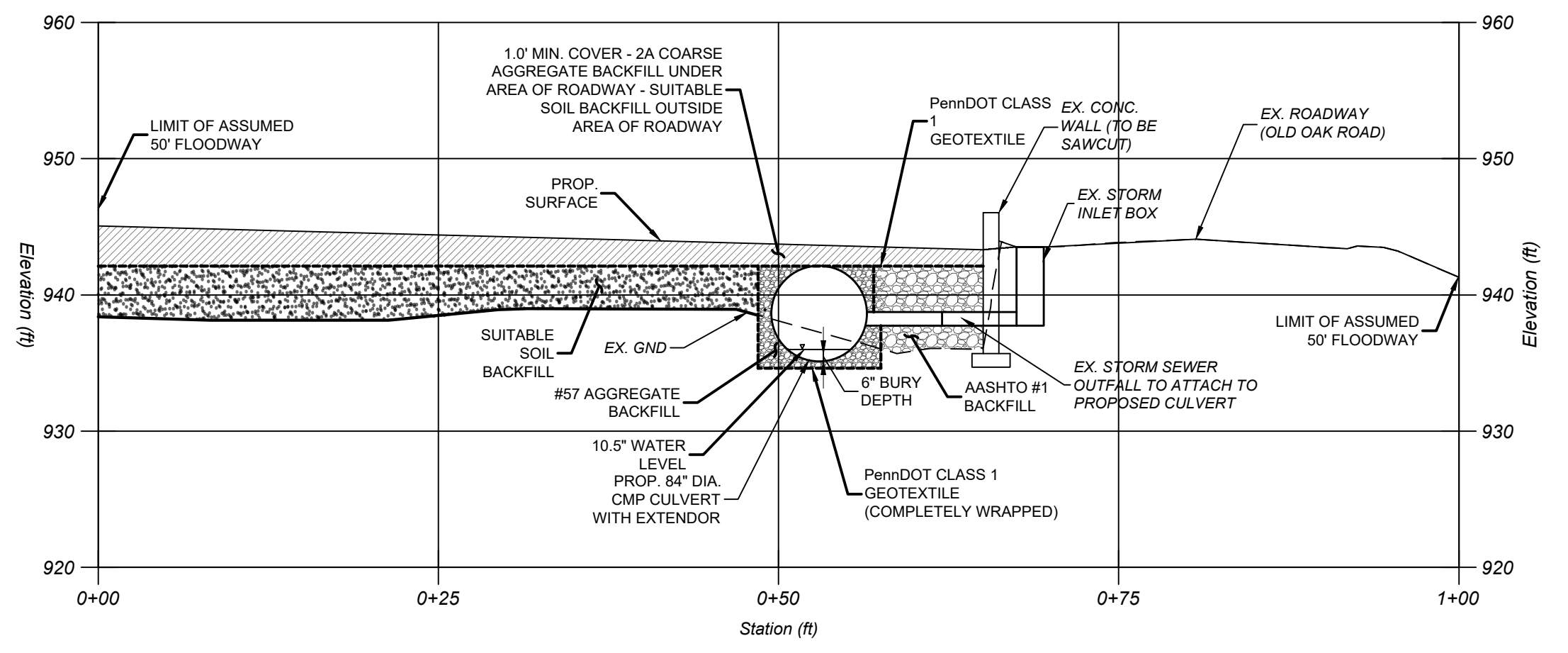
BACKGROUND:  
RED (REFLECTORIZED)

APPROVED FOR THE SECRETARY OF TRANSPORTATION  
By: *Dr. C. Rowe* Date: 02-29-12  
Chief, Traffic Engineering and Permits Section  
Bureau of Maintenance and Operations

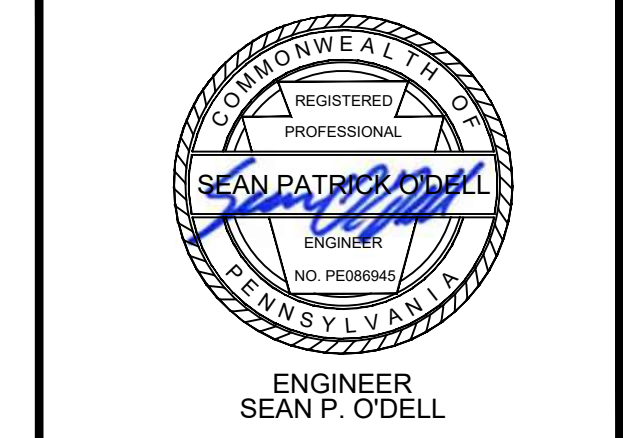
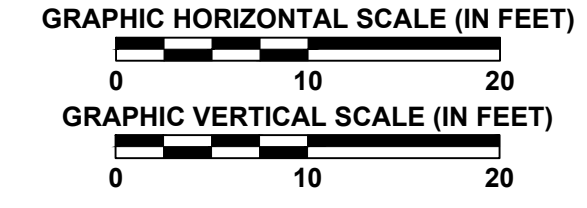
**PennDOT'S PUB. 236, CHANGE 1, STOP SIGN (R1-1) DETAIL** N.T.S.



**STOP LINE INSTALLATION DETAIL** N.T.S.



**Culvert Cross-Section B-B Profile**



**REVISION HISTORY**

DATE	NO.	DESCRIPTION
11-15-24	LD-0	Initial LD Plan Set Created
06-02-25	LD-1	Building and appearance revision.
08-21-25	LD-2	Building revision & Sanitary Line revision per As-Built Network.
10-27-25	LD-3	Updated per Township comments.
01-29-26	LD-4	Updated per Township comments.

**3836 WASHINGTON ROAD, LLC  
CONSTRUCTION DETAILS (SHEET 3 OF 3)**

TAX I.D. 540-011-02-01-0025-00  
PETERS TOWNSHIP  
WASHINGTON COUNTY, PA

PROJECT NO.:	23.103
DATE:	08/16/2024
SCALE:	N.T.S.
DRAWN BY:	DBH
CHECKED BY:	S.O.



CALL BEFORE YOU DIG!  
PENNSYLVANIA LAW REQUIRES  
3 WORKING DAYS NOTICE FOR  
CONSTRUCTION PHASE & 10 WORKING  
DAYS IN DESIGN STAGE - STOP CALL  
Pennsylvania One Call System, Inc.  
**1-800-242-1776**  
SERIAL # 20252860987

DRAWING NO.:  
**23.103-LD16**  
SHEET NUMBER 16 OF 18

FILE PATH: \\01-25-Server-Data\Work\23.103-Angelo-Quantum-Manufacture-Site\CAD\23.103-01-29-25.dwg  
 LAYOUT: LD16-DTLs  
 PLOT DATE: 1/29/2026 11:15:18 AM  
 LAYOUT: LD16-DTLs

GENERAL NOTES:

- 1. Anything mentioned in the Specifications and not shown on the Drawings, or shown on the Drawings and not mentioned in the Specifications, shall be of like effect as if shown, or mentioned in both.
2. Verify graphic scale before measuring drawing directly. Follow dimensions noted.
3. This is not a property survey.
4. Any future site development with total earth disturbance exceeding 1-acre will require National Pollutant Discharge Elimination System (NPDES) permitting.
5. Existing conditions depicted within these plans are general and illustrative. The Contractor shall examine the site prior to bidding this project. If conditions are encountered that differ significantly from what is shown herein, the Contractor shall notify the Engineer immediately. Additionally, the location of existing utilities are approximate and the decision may not be complete. It is the Contractor's responsibility to determine the location of all utilities (above and below ground) and structures prior to construction.
6. The Contractor shall comply with all Federal, State, and Local regulations and requirements.
7. The Contractor shall maintain and monitor all safety requirements for all persons on the job site.
8. The Contractor shall indemnify and hold harmless the Owner and Owners' representative for any and all injuries and/or damages to personnel, equipment, and/or existing facilities occurring during construction.
9. The Contractor shall comply with all Federal, State, and Local codes and permits. NPDES Permits have been obtained and shall be followed as part of construction identified within these plans. Should additional permits or fees be required, the Contractor shall be responsible for these, and secure prior to related construction.
10. If any archaeological materials are discovered during construction, or at any time, all work must stop in the area of the find and the owner and engineer must be notified so that the Pennsylvania Historical & Museum Commission can be contacted to evaluate the find, pursuant to the National Historical Preservation Act 106 and the Pennsylvania Historical Code, PHMC Western Region Contact: (717) 705-0700.
11. Contractor is to follow all Municipal Ordinances at the time Land Development approval and any agreements made there after.
12. The contractor shall verify all existing dimensions and elevations in the field prior to starting any construction activities. Any discrepancy in this plan and actual field conditions shall be reported to the engineer prior to start of construction. General contractor shall be responsible for verification of all setbacks, easements, and dimensions shown herein before beginning construction.
13. The contractor shall be responsible for replacing with matching materials, any existing pavement, driveways, walkways, curbs, etc. that must be cut or in or otherwise damaged during construction. All street surfaces, driveways, culverts, curb and gutters, roadside drainage ditches and other structures that are disturbed or damaged in any manner as a result of construction shall be replaced or repaired in accordance with the drawings' specifications, as applicable.
14. It is the intent of these drawings to show all necessary civil site work, any item of work not specifically shown, but necessary for project completion is implied.
15. It is the responsibility of the contractor to secure approvals for any and all necessary changes or revisions to the approved plans.
16. All handicap site features shall be constructed to meet all federal, state and local codes.
17. Prior to starting construction, the general contractor shall be responsible to verify that all required permits and approvals have been obtained. No construction or fabrication of any item shall begin until the contractor has received all plans and any other documentation from all the permitting and any other regulatory authorities. Failure of the contractor to follow this procedure shall cause the contractor to assume full responsibility for any subsequent modification of the work mandated by any regulatory authority. All construction to be in accordance with permits issued and applicable state, county and local codes.
18. Contractor shall maintain the site in a manner so that workmen and public shall be protected from injury, and adjoining property protected from damage.
19. Contractor is responsible for damage to any existing item and/or material inside or outside contract limits due to construction operations.
20. The contractor shall maintain an "as-built" set of drawings to record the exact location of all piping prior to concealment. Drawings shall be given to the owner upon completion of the project with a copy of the transmittal letter to the engineer.
21. Any and all quantities shown or implied on these plans are for estimation purposes only.
22. Contractor agrees that in accordance with generally accepted construction practices, contractor will be required to assume sole and complete responsibility for job site conditions during the course of construction of the project, including safety of all persons and property. This requirement shall be made to apply continuously and not be limited to normal working hours. Contractor further agrees to defend, indemnify, and hold the owner and design professional harmless of any and all liability, real or alleged in connection with the performance of work on this project, accepting liability arising from the sole negligence of the owner or design professional.

CLEARING AND GRUBBING

- 23. Clearing and grubbing shall be performed within the limits shown on the plans. All timber, brush roots, stumps, trees, or other vegetation cut during the clearing operations shall become the Contractor's responsibility to dispose of, and shall be either removed from the project by the Contractor, or satisfactorily disposed of on-site with approval from the Owner. Contractor shall comply with all requirements of the County Conservation District, and a representative from the regional office of the PA Department of Environmental Protection, as applicable, and the approved NPDES permit.

SEDIMENTATION CONTROL

- 24. Road shoulders, swales, back-of-curbs, and cut/fill banks shall be completely dressed by the Contractor and seeded as soon as possible. The Contractor shall be responsible for maintenance of these areas until a permanent stand of grass is established.

CUTFILL SLOPES

- 25. Any and all construction work related to earth moving or other excavation activities shall only be performed under the supervision of a licensed professional geotechnical engineer, or other approved professional representative, with knowledge and experience in the interpretation of all issues related to geotechnical engineering and construction activities. Cut and fill slopes shall be verified by geotechnical engineer.
26. All fills shall be compacted to provide stability of fill material to prevent undesirable settlement or slippage. Fills shall be compacted using modern methods and equipment. Fills shall be constructed under the supervision of a qualified geotechnical engineer who shall certify, in writing to the Municipality, as to the adequacy of compaction and shall submit reports of the compaction tests to the Municipal Engineer.
27. All disturbed areas shall have temporary seeding and mulching. All uncompleted areas on which activity will cease for more than four (4) days shall be seeded per permit requirements and specifications.

- 28. Compaction and maintenance of proper moisture content of the soil under buildings and paved areas shall be accomplished per geotechnical engineer's recommendations.

- 29. All earthmoving operations shall be performed in accordance with the approved Erosion and Sediment Control Plan (ESCP).

- 30. All storm drainage pipes shall be constructed of SCLPP. All pipe within the right-of-way shall be inspected prior to acceptance for maintenance by the Municipality or the applicable Authority.

- 31. Contractor to reference the Projects approved Erosion and Sediment Control Plans for outfall protection design and permanent channel design requirements.

- 32. All storm drainage structures and pipes shall be designed and constructed in accordance with PennDOT specifications and the design requirements included herein.

- 33. All Storm Drainage Systems must meet the local Conservation District standards for storm-water management and sediment reduction.

- 34. The property owner is to maintain the Stormwater BMP and allow official personnel from the Township of Peters and the Pennsylvania Department of Environmental Protection on-site to inspect the BMP at their request.

- 35. All stormwater facilities, including but not limited to pipes, inlets, yard drains, stormwater BMP, and access to the BMP shall be owned and operated by the Property Owner.

- 36. The contractor shall be responsible for the proper installation and maintenance of all sediment and erosion controls.

UTILITIES

- 37. The contractor shall be responsible for determining the exact location and protecting all existing utilities before starting construction activities. Further, this firm is not responsible for any underground or overhead conditions, including those not shown which would in any way interfere with the construction activities.

- 38. Relocation of any utilities to be at the contractors expense and completed with the site work. All new utility line installations must be underground.

- 39. The contractor shall install utilities to the limits shown on the construction plans. All installation of utilities must be performed in accordance with utility company standards and specifications. The contractor is responsible for the individual utility company coordination prior to the start of work.

- 40. Extreme caution should be used by the contractor when excavating around or near any and all utilities. All existing and/or active utilities encountered in the work, shall be protected at all times.

- 41. The general contractor shall contact all owners of easements, utilities and right-of-ways, public or private, prior to working in these areas.

- 42. Access to utilities, fire hydrants, street lighting, etc., shall remain undisturbed, unless coordinated with respective utility.

GRADING NOTES:

- 1. Existing grade contour intervals shown at 2 foot intervals. Proposed grade contour intervals shown at 2 foot intervals.
2. All work and materials are to comply with all specifications provided; local, county, state, and federal regulations and codes; and O.S.H.A. Standards.
3. Perform work in accordance with all applicable governing codes, rules, standards, and regulations.
4. Designate and maintain on site a trained, competent person for all excavation work, who shall be on call 24-hours per day and seven (7) days per week in case of an emergency. Provide 24-hour contact information for the trained competent person prior to any work.
5. Implement and maintain a work zone traffic control plan in accordance with PennDOT Publication 213, current revision, for work in or adjacent to vehicular traffic areas.
6. All materials furnished and work completed shall be in strict accordance with PennDOT Publication 408 and PennDOT Standard Details (Publication 72), current revision, unless otherwise specified.
7. Furnish, install, and maintain all Erosion and Sedimentation (EAS) control facilities in accordance with County Conservation District and/or Pennsylvania Department of Environmental Protection, as applicable, standards and requirements. Install a rock construction entrance and keep surfaced streets in a clean condition at all times during construction. Adhere to all terms & conditions as outlined in the General NPDES Permit for stormwater discharge associated with construction activities. Maintain a copy of the E&S Control Plan on site.
8. All excavation is considered unclassified. The Contractor is responsible for all means, methods, and materials of construction to complete the work. The contractor is responsible for any and all excess or unsuitable material unable to be placed on site and for importing any borrow material necessary to complete the work.
9. Place four (4) inches of topsoil on all un-surfaced areas disturbed by grading operation. Install stabilization fabric on all slopes 3:1 or steeper. Seed disturbed areas in accordance with County Conservation District and/or Pennsylvania Department of Environmental Protection, as applicable, specifications and water until a healthy amount of grass is grown.
10. Contractor shall construct all slopes within the Project to not greater than 2 feet horizontal to 1 foot vertical.
11. All steep slopes within the Project shall be inspected and tested by a geotechnical engineer selected by Owner prior to disturbance and upon completion of the grading. The slopes shall be certified by Owner's geotechnical engineer.
12. Developer shall supply the Municipality with copies of any monitoring reports prepared by Owner's geotechnical engineer as prepared in the ordinary course of business.
13. The erosion control measures are to be in place prior to any earthwork.
14. All erosion control measures shall be maintained until disturbed areas are stabilized.
15. All erosion control facilities shall be inspected and repaired on a weekly basis at a minimum and after every rain event.
16. All paved areas shall be kept clear of earth materials and debris. The site shall be maintained so as to minimize sediment-laden runoff to any storm drainage system, other surface conveyance structure, or waters of the commonwealth.
17. All construction traffic shall enter and exit the site via the approved construction entrances.

CLEAN FILL NOTES:

- 1. Pennsylvania Department of Environmental Protection (PA DEP) regulations state that the responsibility for performing environmental due diligence and the determination of clean fill will reside with the Operator. The Operator must provide clean fill, the definition of clean fill and environmental due diligence are listed below.
2. Clean Fill is defined as uncontaminated, non-water soluble, non-decomposable, inert, solid material. The term includes soil, rock, stone, dredged material, used asphalt, and brick, block or concrete from construction and demolition activities that is separate from other materials and is recognizable as such. The term does not include materials such as:
- Mill material, rip-rap
- re-use for original purpose, processing at a steel mill
- separated rebar, metal signs, sign posts, gears/rails
- fill materials (earth, gravel, sand)
- clean fill material, landscaping material, landfill cover
3. Environmental Due Diligence: Investigative techniques, including, but not limited to, visual property inspections, electronic data base searches, review of property ownership, review of property use history, Sanborn maps, environmental questionnaires, transaction records, analytical testing, environmental assessments or audits. Analytical testing is not a required part of due diligence unless visual inspection and/or review of the past land use of the property indicates that the fill may have been subjected to a spill or release of regulated substances. If the fill may have been affected by a spill or release of a regulated substance, it must be inspected if it qualifies as clean fill. Testing should be performed in accordance with Appendix A of PA Department of Environmental Protection's "Management of Fill Policy," document number 256-2182-713, current revision. Fill material that does not qualify as clean fill is regulated fill. Regulated fill is waste and must be managed in accordance with DEP's residual or municipal waste regulations in 25 Pa. Code Chapters 287 Residual Waste Management or 271 Municipal Waste Management whichever is applicable.

PROJECT WASTES / RECYCLING:

- 1. Contractor must ensure that proper mechanisms are in place to control waste materials. Construction wastes include, but are not limited to, excess soil materials, building materials, wash water, sanitary wastes, etc. that could adversely impact water quality. Measures should be planned and implemented for housekeeping, materials management, and litter control. Where separate from other materials is preferred, rather than disposal. The general contractor shall remove all trash and debris from the site upon completion of the project and at least once a week during construction. In the event import or export will be required, it will be completed via properly permitted sites). Refer to "Erosion and Sedimentation Plan Narrative" for an extensive list of recyclable products.

RECYCLING / DISPOSAL METHODS:

Table with 3 columns: CATEGORY, MATERIAL, PROCEDURE. Rows include Road reconstruction, Excavation/leveling, Site clearance, Building C&D Material - Reusable, Building C&D Material - Recyclable, and Building C&D Material - Disposal.

NOTE: CONCRETE REBAR CAN ONLY BE CONSIDERED CLEAN FILL IF PROTRUDING REBAR IS REMOVED OR COVERED IN A MANNER THAT DOES NOT CREATE OR HAVE THE POTENTIAL TO CREATE A SAFETY HAZARD.

GEOTECHNICAL NOTES/RECOMMENDATIONS:

- 1. SITE GRADING TO BE PERFORMED IN ACCORDANCE WITH SUBSURFACE INVESTIGATION REPORT PREPARED BY ARTUSO CONSTRUCTION ENGINEERING CONSULTANTS (CEC), DATED 1-27-2026.

GRADING RECOMMENDATIONS:

- 1. REFER TO FULL GEOTECHNICAL REPORT PROVIDED BY CONSTRUCTION ENGINEERING CONSULTANTS.

SITE WORK AND FILL:

- 1. ALL PROPOSED CONSTRUCTION AREAS SHOULD BE STRIPPED OF ALL TOPSOIL AND VEGETATION AND ANY OTHER UNSUITABLE MATERIALS. TOPSOIL STRIPPING DEPTHS SHOULD AVERAGE EIGHT (8) INCHES. ADDITIONAL STRIPPING MAY BE REQUIRED IF EXCESSIVELY SOFT OR ORGANIC MATERIALS ARE ENCOUNTERED.
2. PRIOR TO PLACING ANY FILL SOIL, SLABS, OR PAVEMENTS, A PROOF ROLL OF THE EXPOSED SUBGRADE SHOULD BE PERFORMED. THE PROOF ROLL SHOULD BE PERFORMED WITH A LOADED TRI-AXLE DUMP TRUCK OR 10-TON MINIMUM (STATIC) WEIGHT COMPACTOR. SOFT OR YIELDING AREAS SHOULD BE UNDERCUT TO STABLE MATERIALS PRIOR TO PLACING FILL. PROPOSED SLAB ON GRADE OR NEW ROADWAY AREAS SHOULD BE UNDERCUT UP TO TWO (2) FEET MAXIMUM. IF STABLE MATERIALS ARE NOT ENCOUNTERED AT THE MAXIMUM UNDERCUT DEPTH, THE SOIL SHOULD BE STABILIZED BY PUNCHING THIN LIFTS OF CRUSHED AASHTO #1 OR #2 SIZED STONE INTO THE SOFT ZONE UNTIL IT STABILIZES. THE REMAINING FILL TO GRADE CAN BE MADE WITH PROPERLY COMPACTED FILL SOIL AND ROCK.
3. ANY MATERIALS TO BE USED AS FILL MUST BE APPROVED BEFORE PLACEMENT. ALL FILL MATERIALS SHOULD HAVE A MAXIMUM SIZE OF SIX (6) INCHES IN ANY DIRECTION.
4. FOR FILLING AREAS TO GRADE OR REPLACING UNDERCUT AREAS OF UNSUITABLE MATERIAL, EACH LIFT THICKNESS SHOULD BE A MAXIMUM OF EIGHT (8) INCHES IN THE LOOSE STATE AND PLACED WITHIN PLUS OR MINUS THREE (3) PERCENT OF THE OPTIMUM MOISTURE CONTENT AS DETERMINED BY THE MODIFIED PROCTOR (ASTM D-1557) FOR COHESIVE SOILS.
5. ALL FILL PLACED USING COHESIVE SOILS SHOULD BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR (ASTM D-1557) OR AT LEAST 90 PERCENT OF THE RELATIVE DENSITY AS DETERMINED BY ASTM D-4253 AND D-4254 FOR COHESIONLESS SOILS.
6. ADEQUATE SITE DRAINAGE SHOULD BE MAINTAINED DURING ALL SITE WORK. ANY AREAS WHERE WATER PONDS DUE TO POOR DRAINAGE MUST BE DRAINED AND UNDERCUT TO STABLE SOIL BEFORE FURTHER FILL PLACEMENT PROCEEDS.
7. UTILIZE UNDERGROUND DRAINS FOR ANY GROUNDWATER ENCOUNTERED DURING THE EXCAVATION.
8. THERE ARE SOME SILTY SOILS ON SITE THAT HAVE THE POTENTIAL TO RETAIN MOISTURE. SILTY SOILS WILL BREAK DOWN AND PUMP DUE TO EXCESSIVE MOISTURE. IF THIS CONDITION OCCURS, THE SOIL MUST BE STABILIZED BY DRYING AND RE-COMPACTING. MOISTURE CONTENT TESTS INDICATE THAT SIGNIFICANT DRYING WILL BE REQUIRED FOR THE SITE SOILS IN ORDER TO ACHIEVE PROPER COMPACTION.

GROUNDWATER:

- 1. THE GROUNDWATER LEVEL WILL FLUCTUATE DEPENDING UPON THE TIME OF THE YEAR. IN AREAS WHERE THE GROUNDWATER TABLE IS ENCOUNTERED DURING THE EXCAVATION FOR FOUNDATIONS, THE WATER WILL HAVE TO BE REMOVED IMMEDIATELY PRIOR TO THE PLACEMENT OF CONCRETE.
2. A SUBSURFACE DRAIN PLACED AT THE FOOTER ELEVATION IS RECOMMENDED ALONG ALL BELOW GRADE AND RETAINING WALLS. A ONE-FOOT-THICK GRAVEL BLANKET SHOULD BE PLACED AGAINST THE BACK FACE OF THE WALL TO WITHIN ONE (1) FOOT OF FINISHED GRADE. THE SUBSURFACE DRAIN SHOULD OUTLET TO THE SITES STORMWATER MANAGEMENT SYSTEM.

INSPECTION:

- 1. DURING SITE PREPARATION, A QUALIFIED SOIL INSPECTOR UNDER THE DIRECTION OF ONE OF CEC'S REGISTERED GEOTECHNICAL ENGINEERS SHOULD BE PRESENT AT ALL TIMES IN ORDER TO IDENTIFY UNSUITABLE MATERIALS, MONITOR FILL PLACEMENT AND INSPECT FOUNDATION BEARINGS. IT IS HIGHLY RECOMMENDED THAT CEC'S FIRM PERFORM THESE INSPECTIONS SINCE THEY HAVE THE VISUAL EXPERIENCE WITH EXISTING SOIL TYPES AND WOULD BE ABLE TO DISCERN ANY VARIATIONS ACCURATELY. IT IS ONLY WITH THAT INSPECTION CAN CEC ASSURE THAT THEIR RECOMMENDATIONS ARE FOLLOWED.
2. ALL FILL DENSITIES SHOULD BE TESTED USING A NUCLEAR DENSOMETER OR OTHER APPROVED METHOD AT THE RATE OF ONE TEST FOR EVERY 3,000 SQUARE FEET OF MATERIAL PLACED ON EACH LIFT.

SLOPES/RETAINING WALLS:

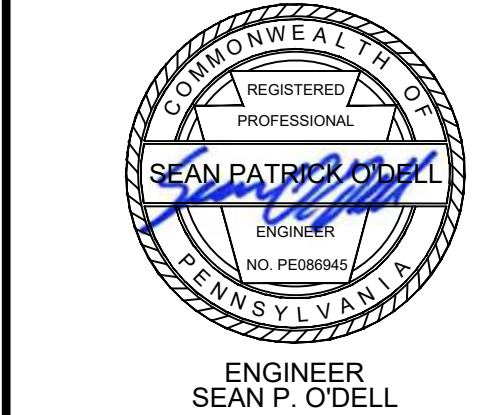
- 1. IF SHALLOW FOUNDATIONS ARE UTILIZED FOR THE BUILDING, THE RETAINING WALLS ADJACENT TO THE BUILDING MUST UTILIZE CRUSHED STONE HAVING A PennDOT 2A GRADING IN THE ENTIRE REINFORCED ZONE.
2. THERE ARE NO SUBSTANTIAL SITE CUT OR FILL SLOPES PLANNED AT THE TIME OF THIS REPORT. IF ANY SIGNIFICANT GRADING FOR SLOPES BECOMES NECESSARY, IT IS IMPORTANT THAT CEC REVIEW THE GRADING PRIOR TO CONSTRUCTION.
3. THE EXISTING FILL SOILS AT THE SITE WILL CLASSIFY AS OSHA TYPE C SOIL. TEMPORARY SLOPES CUT THROUGH TYPE C SOILS WILL REQUIRE A LAYBACK OF 1 1/2:1 (H:V).
4. RETAINING WALL FOUNDATIONS SHOULD BE DESIGNED TO BEAR ON CONSOLIDATED EXISTING SOILS HAVING A BEARING CAPACITY OF 2,000 PSF. WALL FOUNDATIONS SHOULD BE CONSIDERED AS ALL AREAS BENEATH THE REINFORCED ZONE. SOME UNDERCUTTING OF SOFT SOILS SHOULD BE EXPECTED.
5. A DRAIN AND DRAINAGE AGGREGATE SHOULD BE INCLUDED AGAINST THE BACK FACE OF THE WALL AS INDICATED ON THE SKETCH IN APPENDIX E OF THE FULL GEOTECHNICAL REPORT.
6. THE FOLLOWING VALUES SHOULD BE USED FOR THE FOUNDATION AND RETAINED SOILS IN THE DESIGN OF SITE RETAINING WALLS BASED UPON THE DIRECT SHEAR TEST:

SOIL UNIT WEIGHT (y) = 120 PCF
COHESION (c) = 50 PSF
FRICTION ANGLE (phi) = 28 DEGREES

- RETAINING WALL FOUNDATIONS SHOULD EXTEND TO COMPETENT MATERIALS OR BE UNDERCUT TO COMPETENT SOILS/ROCK, UP TO A MAXIMUM OF THREE (3) FEET. IF THE SITE MATERIALS ARE STILL UNSTABLE AT THE MAXIMUM UNDERCUT DEPTH, THEY SHOULD BE STABILIZED BY "PUNCHING" THIN LIFTS OF AASHTO #1 OR #2-SIZED STONE INTO THE EXCAVATION. A LAYER OF GEOGRID (SYNTEEN SF-35) SHOULD BE PLACED AT THE BOTTOM OF THE UNDERCUT. PennDOT 2A CRUSHED LESTONE SHOULD BE PLACED AND COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY (MDD) AS DETERMINED BY ASTM D-698 (STANDARD PROCTOR). EACH SUBSEQUENT LIFT SHOULD BE COMPACTED TO 95% OF THE MDD. THE BACKFILL SHOULD BE COMPACTED IN A MINIMUM OF FOUR (4) LIFTS. THE UNDERCUT SHOULD EXTEND A MAXIMUM OF TWO (2) FEET BEYOND THE WALL FACE AND TWO (2) FEET BEYOND THE REINFORCED ZONE.
AREAS DESIGNED TO PROVIDE STORMWATER INFILTRATION SHOULD NOT BE LOCATED DIRECTLY ABOVE OR WITHIN THE REINFORCED ZONE OF ANY RETAINING WALL OR TOWARD THE RETAINED ZONE OF ANY UN-REINFORCED WALL THREE (3) FEET OR HIGHER. ALL SUBSURFACE DRAINS AND RETAINING WALL DRAINS SHOULD BE DIRECTED TO THE STORMWATER MANAGEMENT SYSTEM FOR THE SITE.

LIMITATIONS:

- 1. THE RECOMMENDATIONS LISTED PRIOR ARE BASED ON THE INFORMATION CURRENTLY AVAILABLE ABOUT THE PROPOSED STRUCTURES AND SITE DEVELOPMENT AND ARE APPLICABLE ONLY TO THE CLIENT FOR WHICH IT WAS PERFORMED. MISINTERPRETATION MAY OCCUR BY ANYONE OTHER THAN WHOM THE REPORT WAS PREPARED. THE REPORT SHOULD ONLY BE UTILIZED IN ITS ENTIRETY. CHANGES IN THE PLANNED CONSTRUCTION INCLUDING SIZE ELEVATION, LOCATION OR CONFIGURATION OF STRUCTURES AND SITE IMPROVEMENTS MAY RESULT IN THE RECOMMENDATIONS BECOMING INVALID.
2. CEC'S GEOTECHNICAL REPORT ASSUMES THAT THE ACTUAL SUBSURFACE CONDITIONS DO NOT DIFFER SIGNIFICANTLY FROM THE CONDITIONS OBSERVED DURING THE TEST BORINGS. ACTUAL SUBSURFACE CONDITIONS CAN ONLY BE FULLY DISCERNED ONCE EARTHWORK HAS BEGUN. IF DURING CONSTRUCTION, IT IS DETERMINED THAT THERE ARE SIGNIFICANT VARIATIONS FROM THE TEST BORINGS, THE RECOMMENDATIONS LISTED PRIOR MAY HAVE TO BE CHANGED.
3. ALL OF THE PRIOR-LISTED RECOMMENDATIONS, SPECIFICATIONS AND COMMENTS CONTAINED IN CEC'S GEOTECHNICAL REPORT HAVE BEEN PREPARED IN ACCORDANCE WITH THE GENERALLY ACCEPTED PROFESSIONAL ENGINEERING PRACTICE OF SOIL MECHANICS AND FOUNDATION ENGINEERING. THE GEOTECHNICAL INFORMATION INCLUDED IN THEIR REPORT ARE PROFESSIONAL JUDGEMENTS BASED UPON EXTRAPOLATED DATA FROM SPECIFIC LOCATIONS ON THE SITE. ACTUAL CONDITIONS BETWEEN THESE LOCATIONS MAY CHANGE MORE GRADUALLY OR ABRUPTLY THAN THE REPORT INDICATES OR COULD CONTAIN CONDITIONS NOT FOUND AT THE TEST LOCATIONS. NO OTHER WARRANTIES ARE EXPRESSED OR IMPLIED. ADDITIONALLY, NO ENVIRONMENTAL ASPECTS OF THE SITE WERE WITHIN THE SCOPE OF THIS INVESTIGATION.



REVISION HISTORY table with columns: NO., DATE, DESCRIPTION. Includes entries for Initial LD Plan Set Created, Building and appearance revision, Building revision & Sanitary Line revision per As-Built Fieldwork, Updated per Township comments, Updated per Township comments.

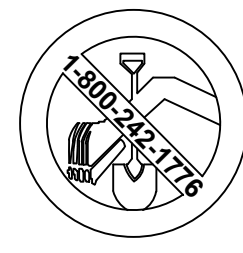
3836 WASHINGTON ROAD, LLC
GENERAL CONSTRUCTION NOTES
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PETERS TOWNSHIP
WASHINGTON COUNTY, PA

PROJECT NO.: 23.103
DATE: 08/16/2024
SCALE: N/A
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CHECKED BY: S.O.

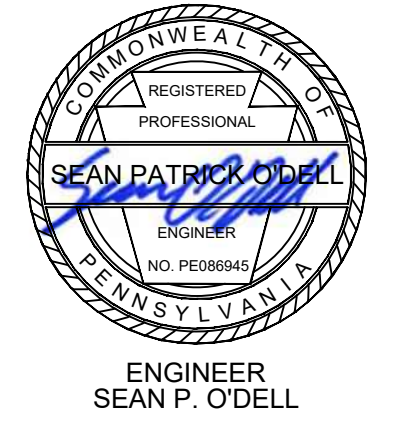


2455 PARK AVENUE
WASHINGTON, PA 15301-8149
T: 724.503.4125

DRAWING NO.: 23.103-LD17
SHEET NUMBER 17 OF 18



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ENGINEER  
SEAN P. O'DELL


**REVISION HISTORY**

DATE	NO.	DESCRIPTION
11-15-24	LD-0	Initial LD Plan Set Created
06-02-25	LD-1	Building and appearance revision.
08-21-25	LD-2	Building revision & Sanitary Line revision per Ac-Built Footwork
10-27-25	LD-3	Updated per Township comments.
01-29-26	LD-4	Updated per Township comments.

**3836 WASHINGTON ROAD, LLC  
VEHICLE TURNING TEMPLATES**

TAX I.D. 540-011-02-01-0025-00  
PETERS TOWNSHIP  
WASHINGTON COUNTY, PA

PROJECT NO.:	23.103
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SCALE:	1" = 30'
DRAWN BY:	L.R.H.
CHECKED BY:	S.O.



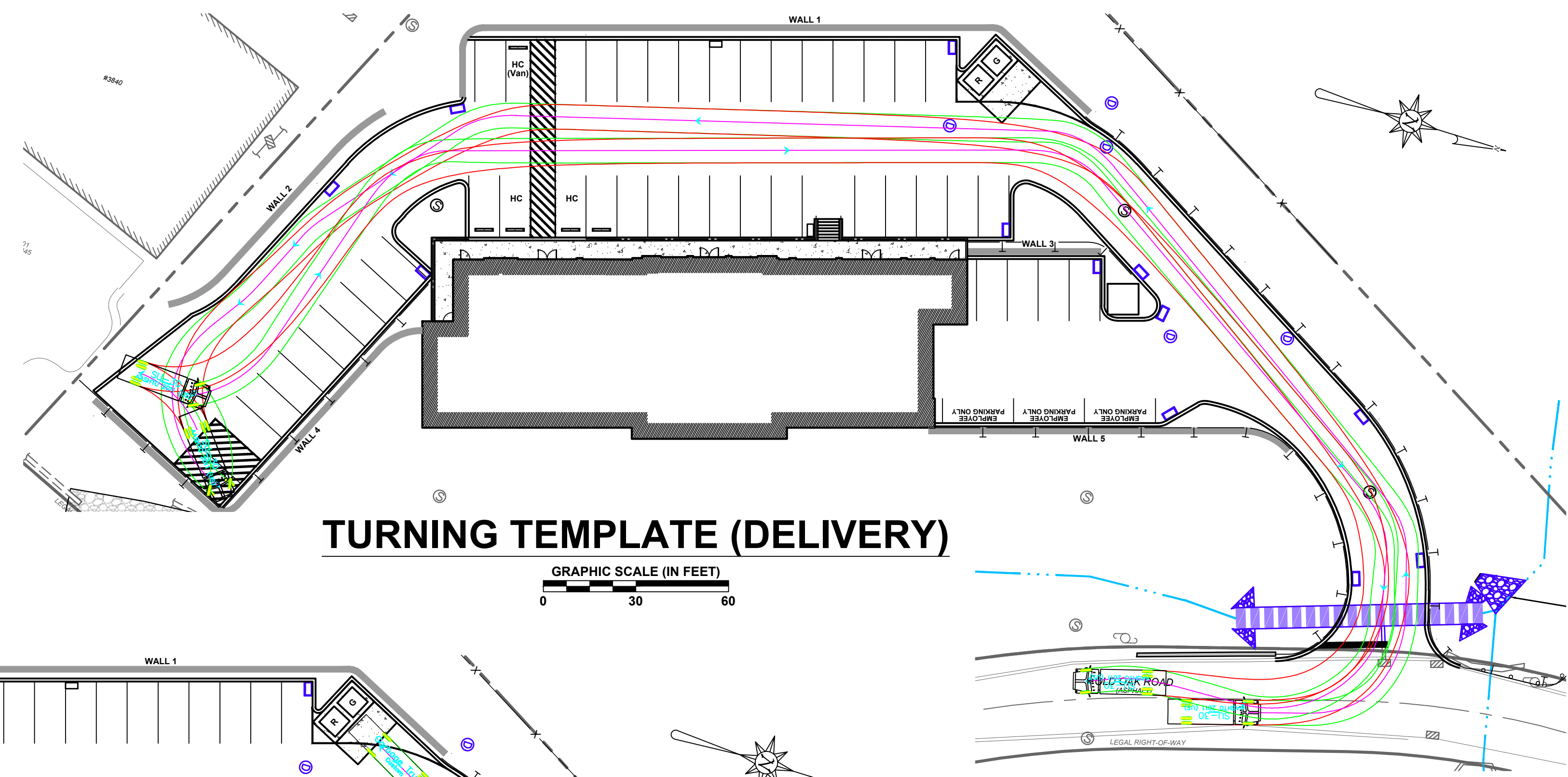
**harshman  
CE GROUP, LLC**

2455 PARK AVENUE  
WASHINGTON, PA 15301-8149  
T: 724.503.4125

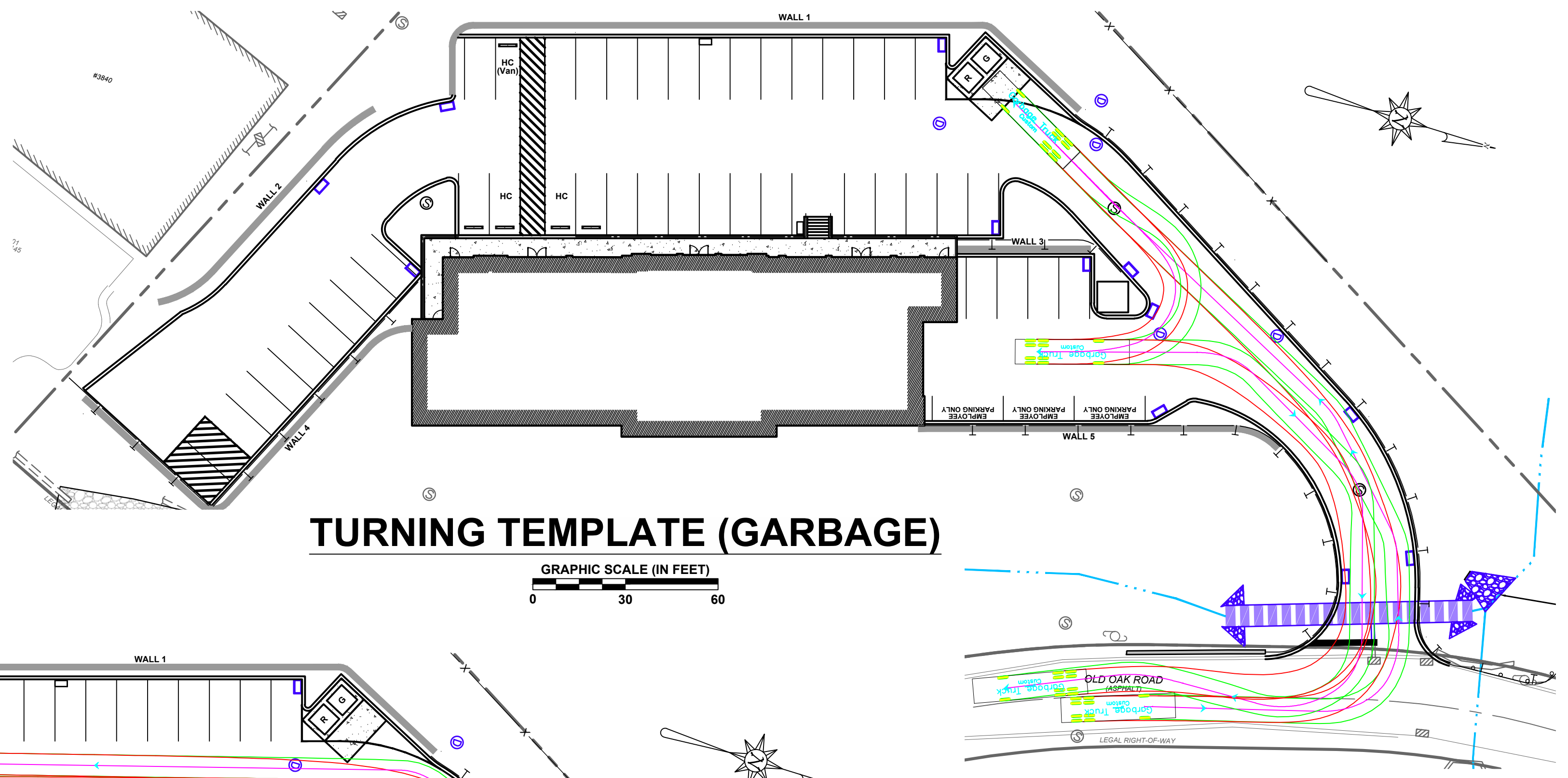
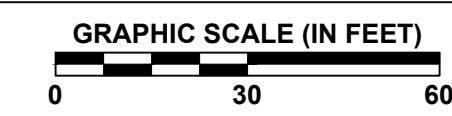
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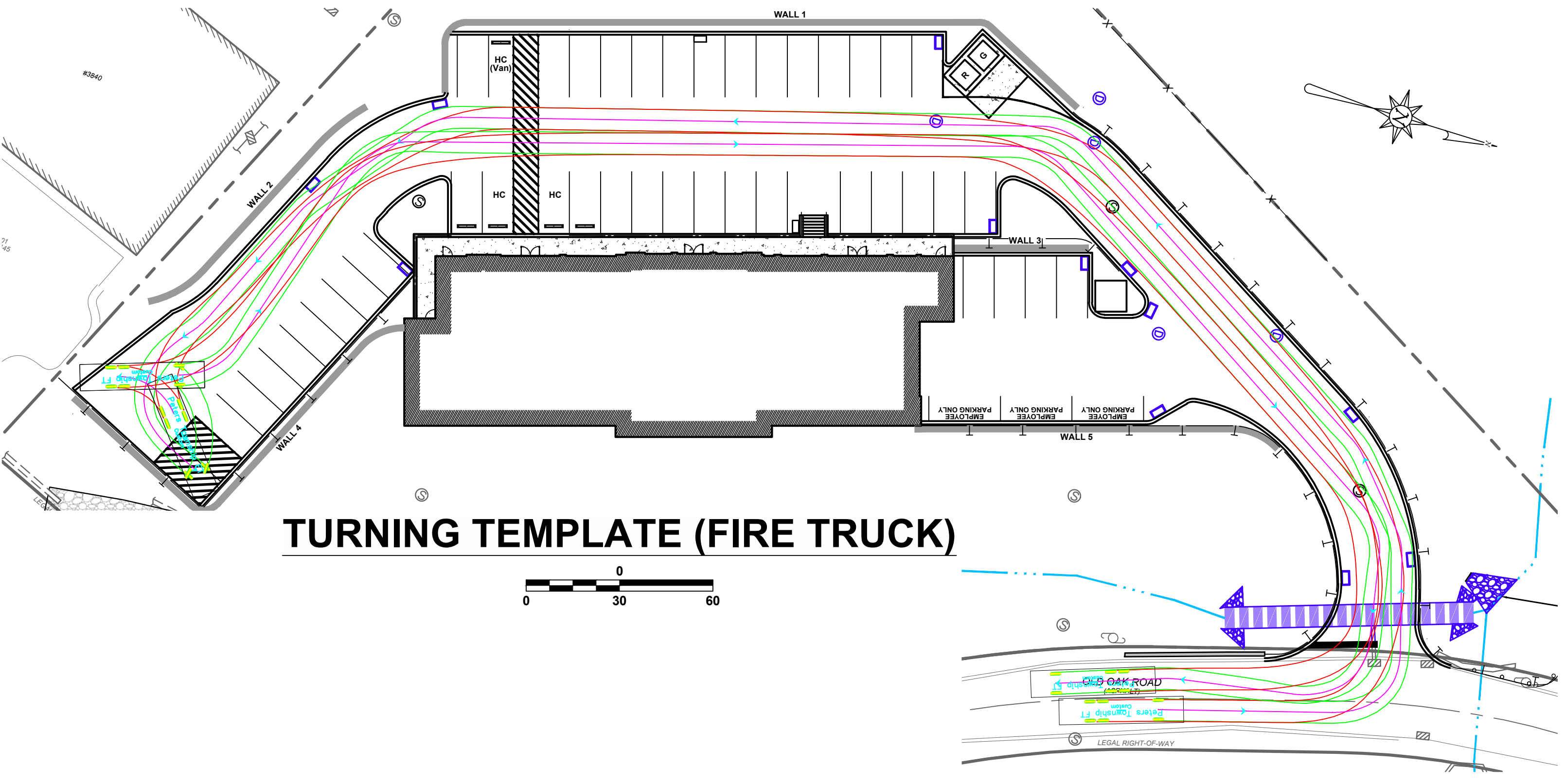
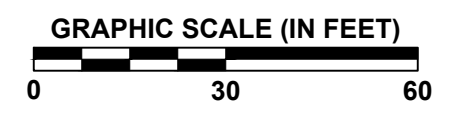
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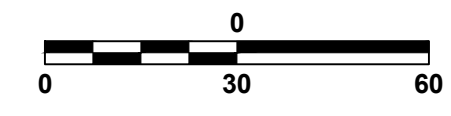
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**TURNING TEMPLATE (GARBAGE)**



**TURNING TEMPLATE (FIRE TRUCK)**



**EXISTING LEGEND**

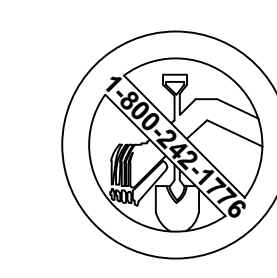
- EX. PROPERTY LINE
- RIGHT-OF-WAY
- EX. PAVEMENT W/ CENTERLINE
- EX. BUILDING/STRUCTURE
- EX. SANITARY SEWER MANHOLE
- EX. UTILITY POLE
- EX. STORMWATER INLETS
- EX. GUIDE RAIL
- EX. STREAM

**PROPOSED LEGEND**

- PR. BUILDING/STRUCTURE
- PR. PAVEMENT W/ CENTERLINE
- PR. SANITARY SEWER MANHOLE
- PR. CONCRETE PAVEMENT
- PR. STORM MANHOLE
- PR. STORM INLET
- PR. STORM ENDWALL
- PR. GUIDE RAIL

**GENERAL NOTES:**

- PLAN MERIDIAN BASED ON STATE PLANE, NAD83, PA SOUTH, NAVD88, CONUS12A, US SURVEY FEET.
- THE UNDERGROUND UTILITIES SHOWN HEREON HAVE NOT BEEN PHYSICALLY LOCATED BY THE SURVEYOR. HOWEVER, THE INFORMATION WAS OBTAINED FROM EXISTING PLANS AND SURFACE UTILITIES. HARSHMAN CE GROUP, LLC MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE PA ONE CALL MAY BE IGNORED BY THE UTILITY OR RESULT IN AN INCOMPLETE RESPONSE THEREFORE HARSHMAN CE GROUP, LLC DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE A COMPLETE AND FULL REPRESENTATION OF EXISTING UTILITIES IN THE SURVEY AREA, OR ARE SHOWN IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE SHOWN AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.
- SUBJECT TO ALL EASEMENTS, SERVITUDES, RIGHTS-OF-WAY, LEASES, EXCEPTIONS, RESERVATIONS, RESTRICTIONS, ETC. IF ANY, AS SAME MAY APPEAR IN INSTRUMENTS OF RECORD.
- EXISTING CONDITION FEATURES SHOWN ARE A COMPILATION OF FIELD LOCATIONS AND TRACINGS OF ONLINE IMAGERY AND GIS MAPPING. THE SURVEY DOES NOT WARRANT THE ACCURACY OF ALL THE EXISTING FEATURES SHOWN ON THE PLAN.
- TOPOGRAPHY FEATURES SHOWN ARE A COMPILATION OF FIELD LOCATIONS AND TRACINGS OF ONLINE IMAGERY AND GIS MAPPING. THE SURVEY DOES NOT WARRANT THE ACCURACY OF ALL THE EXISTING FEATURES SHOWN ON THE PLAN.



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